

Project No. 003580405
I ANGAN

SUPPLEMENTAL DRAWING: PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY: TAX LOT 37 BLOCK 4500" BY BORBAS SURVEYING & MAPPING, LLC; DATED 9-16-2003, LAST REVISED 5-24-2022.

GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITework CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO WARRANTY OF THE ACCURACY OF THE INFORMATION PROVIDED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEMORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEMORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR FOR THE PURPOSE OF IDENTIFYING OR CORRECTING DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

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" IT'S THE LAW "

GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE, INC.

Project No.	Drawing No. <div style="font-size: 48pt; text-align: center;">GI-001</div>
003580405	
Date	
9-7-2022	
Drawn By	
MR	Sheet 1 of 19
Checked By	
LT	

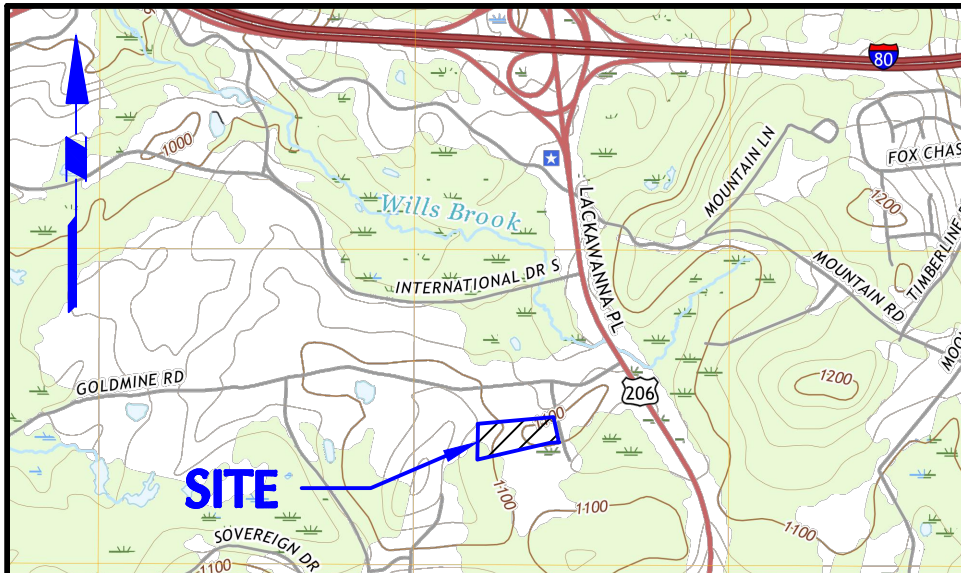
200' PROPERTY OWNERS LIST				
PIN	AREA (AC)	OWNER	PROPERTY ADDRESS	MAILING ADDRESS
MOUNT OLIVE TOWNSHIP				
1427_4500_37	6.000	AETSERVICES/IV LLC J. ARMSTRONG	1 EDEN LN FLANDERS, NJ 07836	13155 NOEL RD SUITE 100 DALLAS, TX 75240
1427_4500_1	2.520	COLLIQUD ENTERPRISES ONE LLC	194 GOLD MINE RD FLANDERS, NJ 07836	PO BOX 296 FLANDERS, NJ 07836
1427_4500_2	2.400	COLLIQUD ENTERPRISES TWO LLC	190 GOLD MINE RD FLANDERS, NJ 07836	PO BOX 296 FLANDERS, NJ 07836
1427_4500_3.01	5.030	TRADE ZONE SOUTH INDUSTRIAL PARK	180 GOLD MINE RD FLANDERS, NJ 07836	17 UPPER MOUNTAIN AVE MONTVILLE, NJ 07045
1427_2500_3.02	5.000	SENATORE MORRISON BUS PARK J LYNCH	186 GOLD MINE RD FLANDERS, NJ 07836	421 WEST MAIN ST BOONTON, NJ 07005
1427_4500_36	50.087	D&M 206, LLC	3 EDEN LN FLANDERS, NJ 07836	242 OLD NEW BRUNSWICK RD STE 115 PISCATAWAY, NJ 08855
1427_4500_7.08	2.940	BASTARRIKA, JOSE & JILLANE	18 SOUTHWIND DR FLANDERS, NJ 07836	18 SOUTHWIND DR FLANDERS, NJ 07836
ROXBURY TOWNSHIP				
1436_9001_1	2.679	PARKS PROPERTY MANAGEMENT LLC	3 GOLD MINE RD FLANDERS, NJ 07836	3 GOLD MINE RD FLANDERS, NJ 07836
1436_9001_14	6.771	D&M 206, LLC	3 EDEN LN FLANDERS, NJ 07836	242 OLD NEW BRUNSWICK RD STE 115 PISCATAWAY, NJ 08855

NOTE:
THE 200' PROPERTY OWNERS LISTS WERE PROVIDED BY THE MOUNT OLIVE TOWNSHIP TAX ACCESSOR ON SEPTEMBER 6, 2022 AND BY ROXBURY TOWNSHIP TAX ACCESSOR ON SEPTEMBER 2, 2022.

AERIAL MAP LEGEND

- 200' PROPERTY OFFSET
- ADJACENT PROPERTY BOUNDARY
- SITE PROPERTY BOUNDARY & RIGHT-OF WAY LINE

- NOTES:
- AERIAL IMAGERY PROVIDED BY GEOMAP SERVICES.
 - ADJACENT PARCEL BOUNDARY INFORMATION FROM DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY: TAX LOT 37 BLOCK 4500", PREPARED BY BORBAS SURVEYING & MAPPING, LLC, DATED SEPTEMBER 16, 2003, LAST REVISED MAY 24, 2022 AND NEW JERSEY GEOGRAPHIC INFORMATION NETWORK DATA PORTAL.



PROJECT LOCATION MAP

SCALE: 1" = 2000'

SOURCE: STANTEC/USGS QUAD MAP



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50 0 25 50
SCALE: 1 INCH = 50 FEET

5-1-23	REVISED PER MCSCD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature GREGORY ELKO
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04139500

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NJ Certificate of Authorization No. 24GA27996400

Project

VEOLIA NORTH
AMERICA -
FLANDERS FACILITY

MOUNT OLIVE TOWNSHIP
MORRIS COUNTY

NEW JERSEY

Drawing Title

AERIAL MAP

Project No.

003580405

Date

9-7-2022

Drawn By

MR

Checked By

LT

Drawing No.

GI-101

Sheet 2 of 19

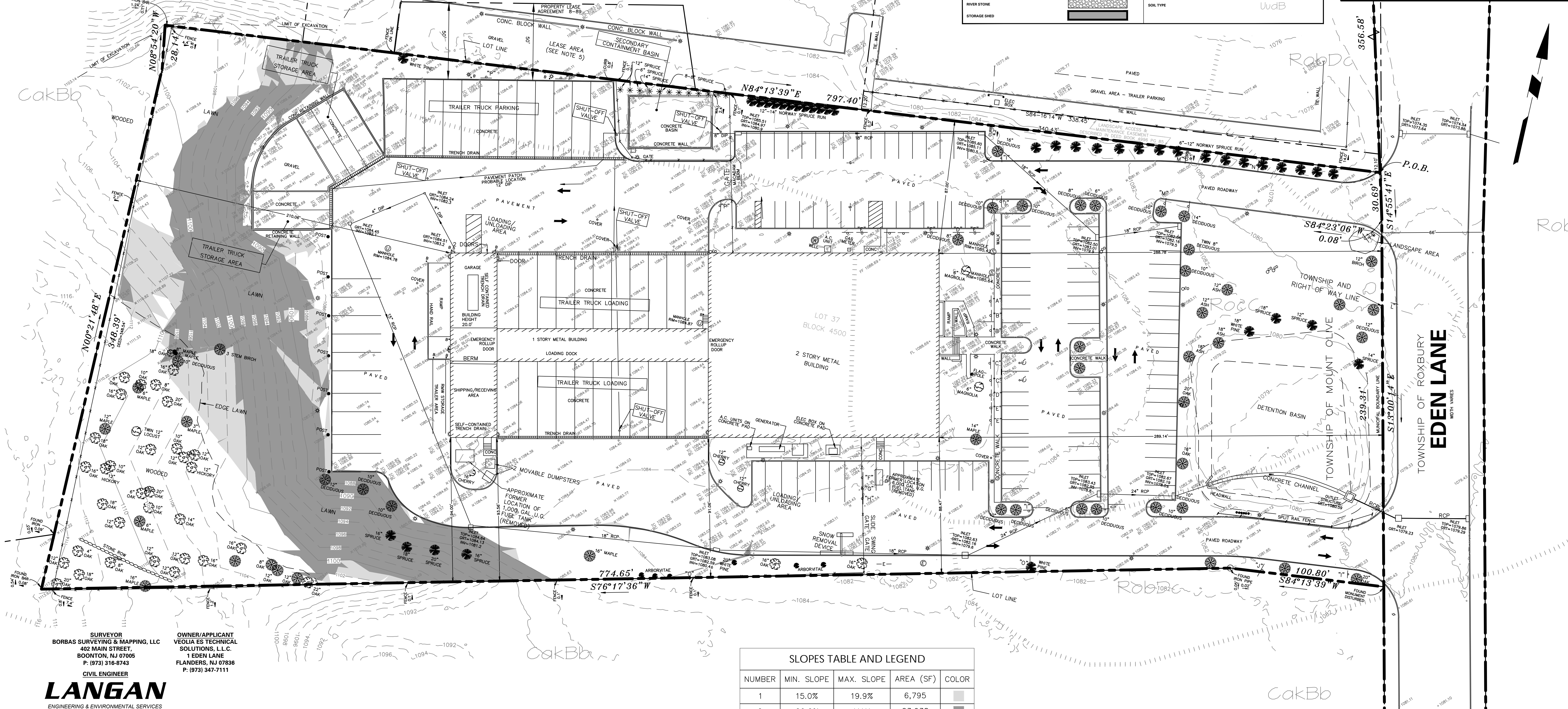
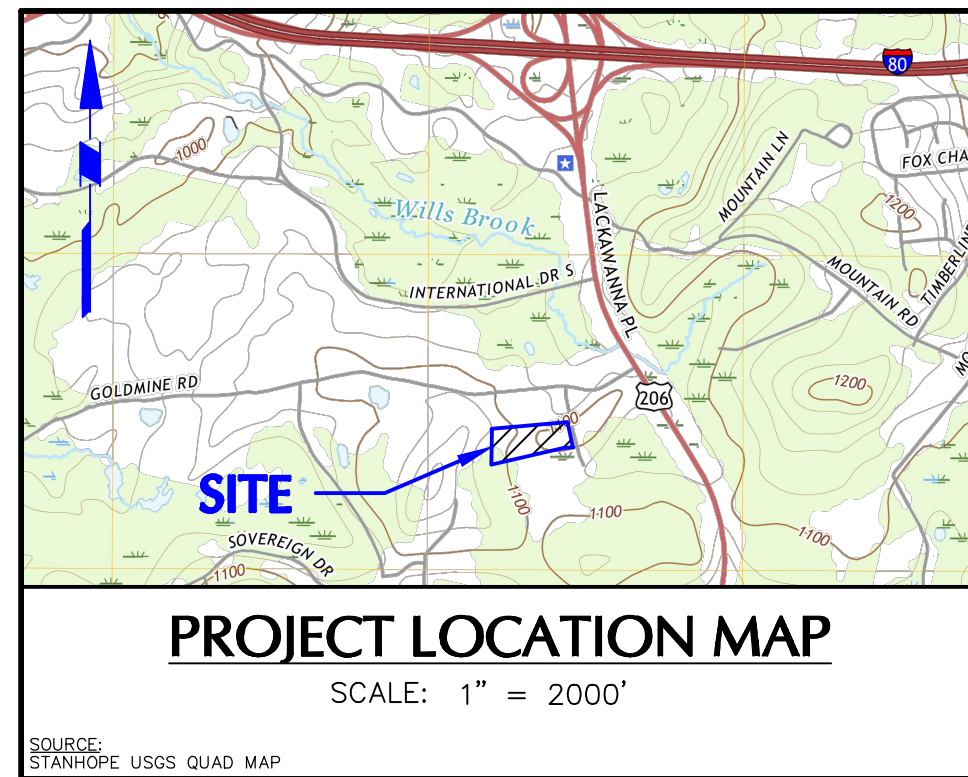
GENERAL NOTES:

- THIS PLAN WAS PREPARED WITH RESPECT TO THE FOLLOWING REFERENCES:
 - DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, TAX LOT 37 BLOCK 4500", PREPARED BY BORBAS SURVEYING & MAPPING, LLC, DATED SEPTEMBER 16, 2003, LAST REVISED MAY 24, 2022.
 - SOILS LINEWORK AND INFORMATION PROVIDED BY USDA NRCS WEB SOIL SURVEY WEBSITE.
- MERIDIAN IS REFERENCED TO NEW JERSEY STATE PLANE COORDINATE SYSTEM, ZONE NAD 83.
- VERTICAL DATUM IS BASED ON NAVD 88.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS, UNLESS SPECIFICALLY NOTED HEREON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON. PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- LEASE INFORMATION PROVIDED BY JOHN SCHANTZ OF ONYX ENVIRONMENTAL SERVICES. FOR LEASE AGREEMENT BETWEEN ADVANCED ENVIRONMENTAL TECHNOLOGY CORPORATION TO E.T.G.I. DATED MAY 1, 1989. AGREEMENT STATES TO BE CONTINUED ON A MONTHLY BASIS UNTIL TERMINATED BY EITHER PARTY WITH 30 DAYS NOTICE. PROVIDED HOWEVER SHOULD THE TOWNSHIP OF MT. OLIVE ISSUE ANY RESTRICTION OR ORDERS AFFECTING THE USE OF THE PROPERTY, THE TENANT WILL VACATE THE PROPERTY UPON THE REQUEST OF THE LANDLORD. SEE AGREEMENT FOR FULL CONDITIONS. STATUS OF THE AGREEMENT UNKNOWN BY SURVEYOR.

ON-SITE SOIL TYPE DESCRIPTIONS					
MAP SYMBOL	SOIL	HYDROLOGICAL SOIL GROUP	HYDRIC	DEPTH TO WATER TABLE	SOIL LIMITATIONS
CakBb	Calton loam, 0-8% slopes	C	No	6 to 30 inches	> 6.5 ft
RobDc	Rockaway sandy loam, 15-25% slopes	C	No	24 to 36 inches	> 6.5 ft
RocC	Rockaway gravelly sandy loam, 8-15% slopes	C	No	24 to 36 inches	> 6.5 ft

*Soils information obtained from USDA-NRCS Web Soil Survey for Morris County, NJ

LEGEND	
SITE SYMBOLS	GRADING/DRAINAGE SYMBOLS
PROPERTY BOUNDARY	EXISTING CONTOUR
EXISTING ULTIMATE RIGHT-OF-WAY	EXISTING SURVEY SURFACE FLOW DIRECTION
BUILDING SETBACK	EXISTING SURVEY SPOT ELEVATION
EASEMENT	PROPOSED SPOT ELEVATION
EXISTING BUILDING LINE	EXISTING SPOT ELEVATION TO REMAIN
EXISTING CURB LINE	PROPOSED SLOPE
EXISTING DEPRESSION CURB	PROPOSED TOP OF WALL ELEVATION
EXISTING CHAIN LINK FENCE	PROPOSED BOTTOM OF WALL ELEVATION
PROPOSED CHAIN LINK FENCE	UTILITY SYMBOLS
EXISTING TREELINE/VEGETATIVE BUFFER	EXISTING STORM SEWER
EXISTING GUIDE RAIL	EXISTING TRENCH DRAIN
EXISTING LIGHT	EXISTING STORM STRUCTURE
EXISTING UTILITY POLE	EXISTING SANITARY CLEANOUT
UTILITY POLE	EXISTING GAS MARKOUT
PARKING COUNT	EXISTING GAS VALVE
EXISTING LOADING/UNLOADING AREA	EXISTING WATER MARKOUT
PROPOSED CONCRETE	EXISTING WATER VALVE
LIMIT OF ASPHALT TO BE REPLACED (SAWCUT LINE)	PROPOSED STORM SEWER
ASPHALT TO BE REPLACED	SOIL SYMBOLS
RIVER STONE	SOIL BOUNDARY
STORAGE SHED	SOIL TYPE



SLOPES TABLE AND LEGEND				
NUMBER	MIN. SLOPE	MAX. SLOPE	AREA (SF)	COLOR
1	15.0%	19.9%	6,795	
2	20.0%	MAX	23,938	

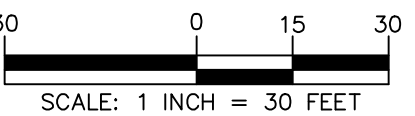
NOTE: THE SLOPES SHOWN ON THIS PLAN AND REPORTED IN THE SLOPES TABLE REPRESENT THE AREAS OF 5,000 SF OR MORE OF CONTIGUOUS STEEP SLOPES AS DEFINED IN SECTION 535-22.B. OF THE MOUNT OLIVE TOWNSHIP ORDINANCE.

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5-1-23	REVISED PER MCSDD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature _____ Date _____
GREGORY ELKO
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Project
**VEOLIA NORTH
AMERICA -
FLANDERS FACILITY**
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Drawing Title
**EXISTING
RESOURCES MAP**

Project No.
003580405
Date
9-7-2022
Drawn By
MR
Checked By
LT

Drawing No.
CB-100
Sheet **3** of **19**

DEMOLITION NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND LATERALS. UNDERGROUND ELECTRIC, TELEPHONE, VAULTS, GAS, WATER MAINS, ETC. ARE APPROXIMATE AND MUST BE FIELD VERIFIED EITHER THROUGH COORDINATION WITH THE UTILITY COMPANIES AND/OR THROUGH THE CONTRACTOR'S OWN METHODS. SUBSURFACE UTILITY INFORMATION HAS BEEN PROVIDED BY OTHERS AND NOT VERIFIED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES. OTHER UTILITIES MAY ALSO EXIST THAT ARE NOT SHOWN ON THESE PLANS. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION SHALL CONFIRM ALL UTILITIES IN THE FIELD FOR EXACT LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO DEMOLITION.
3. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL PROVISIONS OF EDISON TOWNSHIP, AND OTHER JURISDICTIONAL AGENCIES.
4. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL OFFSITE PROPERTY AND STRUCTURES FROM ANY AND ALL DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL USE ANY NECESSARY PROTECTION INCLUDING SCREENS, PLATFORMS, BRACING, UNDERPINNING, ETC. TO PROTECT OFFSITE PROPERTY. ANY OFFSITE DAMAGE CAUSED BY THE CONTRACTOR OR HIS AGENTS SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES AND ANY OTHER METHOD DETERMINED APPROPRIATE BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION PERMITS.
6. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN WITHIN CONSTRUCTION AREA, SHALL BE REMOVED & DISPOSED OF OFF SITE OR RECYCLED ON SITE IN A MANNER APPROVED BY THE OWNER AND/OR OWNER'S ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING, IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PAVEMENT, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT, WHEN REQUIRED, TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
8. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL FEES TO BE CHARGED BY THE UTILITY COMPANIES AND INCLUDE SUCH FEES AS PART OF THE SITEMARK BID. IF FEES ARE NOT ABLE TO BE DETERMINED AT THE TIME OF SITEMARK BID, THE CONTRACTOR MUST INDICATE AS SUCH IN THE BID DOCUMENTS. ANY SUCH FEES THAT ARE INCURRED DURING THE COURSE OF CONSTRUCTION THAT ARE NOT IDENTIFIED AT THE TIME OF SITEMARK BID SHALL BE PAID BY THE CONTRACTOR.
9. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.

10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

11. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING OR ANY OTHER STRUCTURE TO REMAIN, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS / STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AT THE CONTRACTOR'S OWN COST, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

12. THIS PLAN IS INTENDED TO CONCEPTUALLY ILLUSTRATE MAJOR DEMOLITION AND RELOCATION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXTENTS OF DEMOLITION BASED ON THE PROPOSED IMPROVEMENTS AND SCOPE OF WORK DEPICTED ON THE PLANS CONTAINED WITHIN THIS SET OF DRAWINGS. IT IS SPECIFICALLY NOTED THAT SOME EXISTING FEATURES TO REMAIN MAY REQUIRE FIELD ADJUSTMENTS TO ACCOMMODATE PROPOSED IMPROVEMENTS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPROVED ENVIRONMENTAL WORK PLANS AND SOIL EROSION DRAWINGS.

13. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, ELECTRIC LINES FOR LIGHT POLES AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.

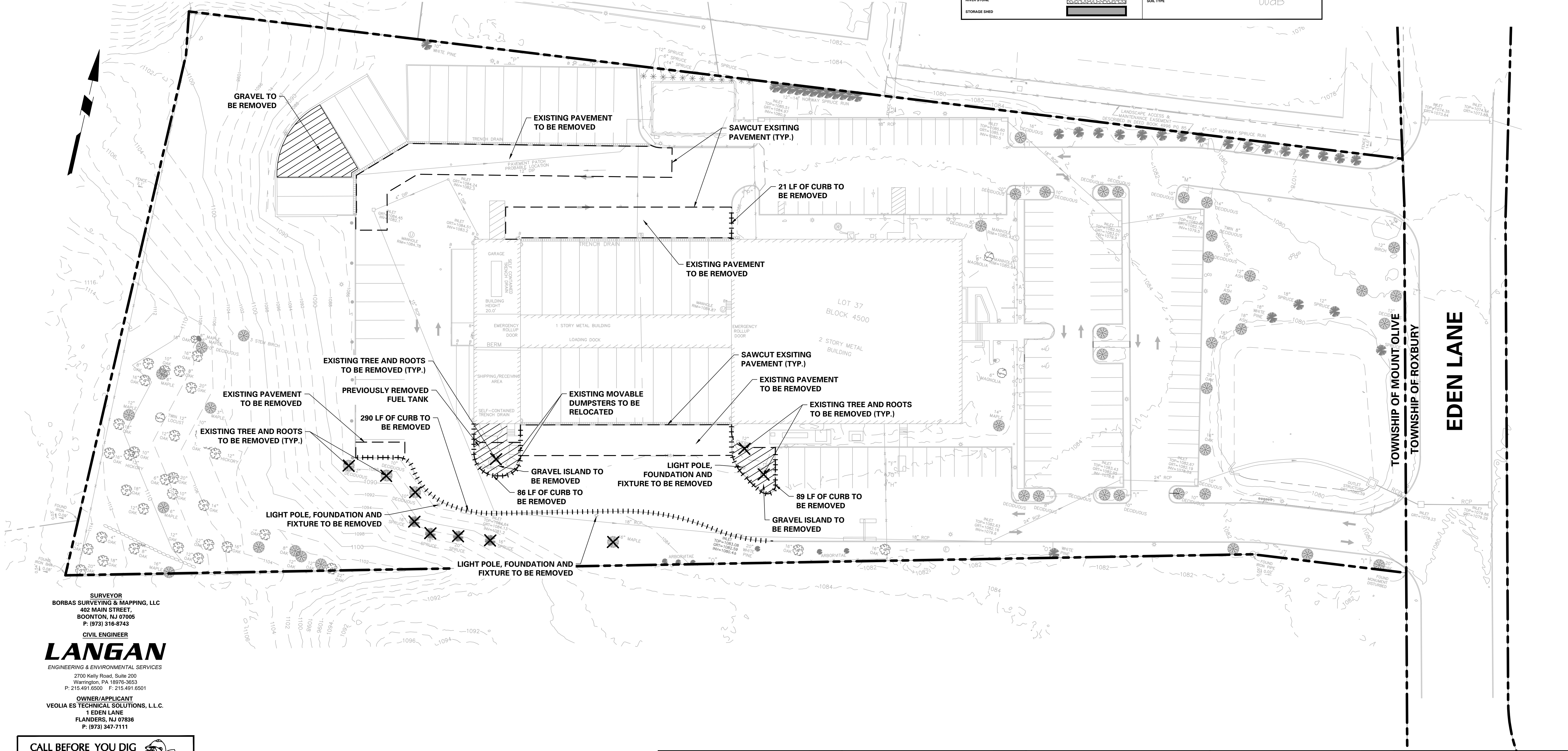
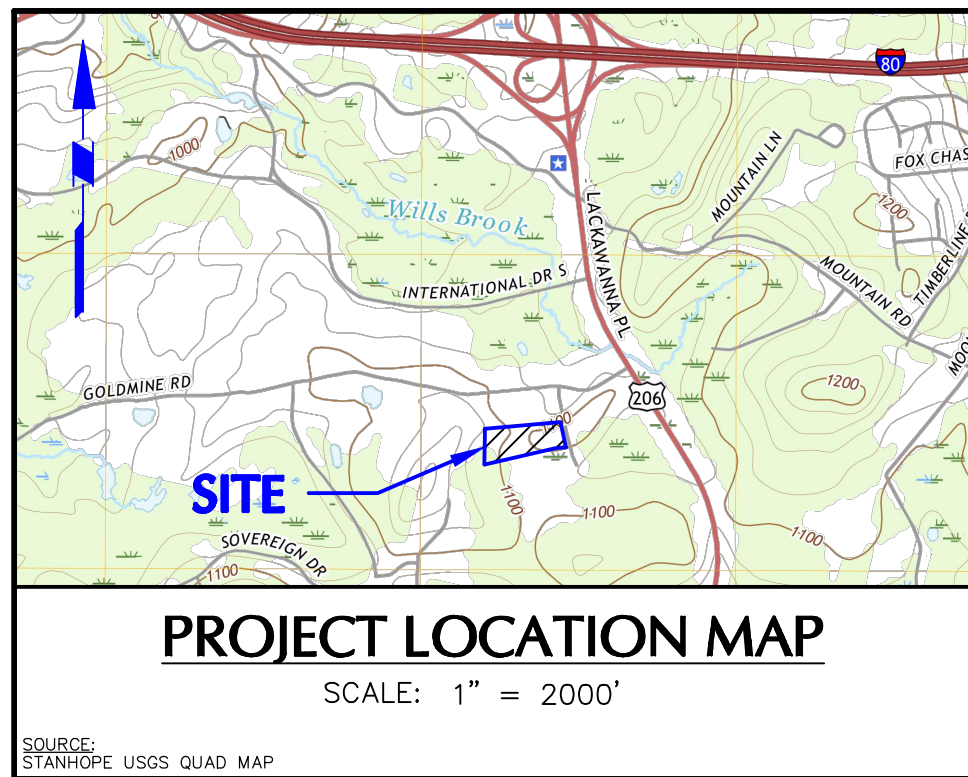
14. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.

15. CONTRACTOR SHALL CLEAR ALL EXISTING INLETS, UNDERGROUND STORAGE SYSTEMS AND STORM PIPES TO THE POINT OF CONNECTION WITHIN THE PROJECT SITE OF DEBRIS AND ACCUMULATED SEDIMENT PRIOR TO CONNECTION OF PROPOSED STORM PIPES.

DEMOLITION LEGEND

FEATURE TO BE REMOVED	
SAWCUT EXISTING PAVEMENT	
GRAVEL REMOVAL	

LEGEND	
SITE SYMBOLS	
PROPERTY BOUNDARY	---
EXISTING ULTIMATE RIGHT-OF-WAY	---
BUILDING SETBACK	---
EASEMENT	---
EXISTING BUILDING LINE	---
EXISTING CURB LINE	---
EXISTING DEPRESSED CURB	---
EXISTING CHAIN LINK FENCE	---
PROPOSED TREELINE/VEGETATIVE BUFFER	---
EXISTING GUIDE RAIL	---
EXISTING LIGHT	---
EXISTING UTILITY POLE	---
UTILITY POLE	---
PARKING COUNT	---
EXISTING LOADING/UNLOADING AREA	---
PROPOSED CONCRETE	---
LIMIT OF ASPHALT TO BE REPLACED (SAWCUT LINE)	---
ASPHALT TO BE REPLACED	---
RIVER STONE	---
STORAGE SHED	---
GRADING/DRAINAGE SYMBOLS	
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SURVEY SURFACE FLOW DIRECTION	---
EXISTING SURVEY SPOT ELEVATION	---
PROPOSED SPOT ELEVATION	---
EXISTING SPOT ELEVATION TO REMAIN	---
PROPOSED SLOPE	---
EXISTING SLOPE	---
PROPOSED TOP OF WALL ELEVATION	---
PROPOSED BOTTOM OF WALL ELEVATION	---
UTILITY SYMBOLS	
EXISTING STORM SEWER	---
EXISTING TRENCH DRAIN	---
EXISTING STORM STRUCTURE	---
EXISTING SANITARY CLEANOUT	---
EXISTING GAS VALVE	---
EXISTING WATER VALVE	---
EXISTING WATER MARKOUT	---
PROPOSED STORM SEWER	---
SOIL SYMBOLS	
SOILS BOUNDARY	---
SOIL TYPE	---



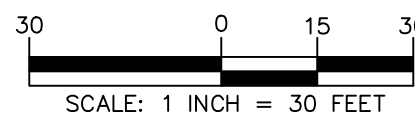
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Project
VEOLIA NORTH
AMERICA -
FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Drawing Title
SITE DEMOLITION
PLAN

Project No. 003580405	Drawing No. CD-101
Date 9-7-2022	Sheet 4 of 19
Drawn By MR	
Checked By LT	

LEGEND	
SITE SYMBOLS	GRADING/DRAINAGE SYMBOLS
PROPERTY BOUNDARY	EXISTING CONTOUR
EXISTING ULTIMATE RIGHT-OF-WAY	PROPOSED CONTOUR
BUILDING SETBACK	EXISTING SURVEY SURFACE FLOW DIRECTION
EASEMENT	EXISTING SURVEY SPOT ELEVATION
EXISTING BUILDING LINE	PROPOSED SPOT ELEVATION
EXISTING CURB LINE	EXISTING SURVEY SPOT ELEVATION TO REMAIN
EXISTING DEPRESSION CURB	EXISTING SLOPE
CURB LINE	PROPOSED SLOPE
EXISTING CHAIN LINK FENCE	PROPOSED TOP OF WALL ELEVATION
EXISTING CHAIN LINK FENCE	PROPOSED BOTTOM OF WALL ELEVATION
EXISTING TREELINE/VEGETATIVE BUFFER	UTILITY SYMBOLS
EXISTING GUIDE RAIL	EXISTING STORM SEWER
EXISTING LIGHT	EXISTING TRENCH DRAIN
LIGHT POLE	EXISTING STORM STRUCTURE
EXISTING UTILITY POLE	EXISTING SANITARY CLEANOUT
UTILITY POLE	EXISTING GAS MARKOUT
PARKING COUNT	EXISTING GAS VALVE
EXISTING LOADING/UNLOADING AREA	EXISTING WATER MARKOUT
PROPOSED CONCRETE	EXISTING WATER VALVE
LIMIT OF ASPHALT TO BE REPLACED (SAW-CUT LINE)	EXISTING STORM SEWER
ASPHALT TO BE REPLACED	SOIL SYMBOLS
RIVER STONE	SOILS BOUNDARY
STORAGE SHED	SOIL TYPE

APPROVED BY MOUNT OLIVE TOWNSHIP PLANNING BOARD	
PLANNING BOARD CHAIRMAN	DATE
PLANNING BOARD SECRETARY	DATE
TOWNSHIP ENGINEER	DATE
TOWNSHIP CLERK	DATE
OWNER	DATE

PARKING AND LOADING SUMMARY TABLE				
USE	FLOOR AREA (SF)	REQUIRED PARKING RATIO	REQUIRED SPACES	PROVIDED SPACES
OFFICE ^{2,3}	8,857		-	-
Office area not required to be parked ² (20% of Total Area)	6,490	4.5 spaces per 1,000 SF of floor area ⁴	-	-
Office area required to be parked ²	2,367		11	110
WAREHOUSE	15,762	1 space per 5,000 SF floor area ⁵	4	4
SHIPPING/RECEIVING	6,360	1 space per 5,000 SF floor area ⁵	2	2
STORAGE AREA ⁶	1,470	1 space per 5,000 SF floor area ⁵	1	1
TOTAL AREA	32,449	TOTAL SPACES ⁵	18	117

Notes:

1. Floor areas are reported per information provided by the property owner, Veolia North America.

2. Section 550-56 J. states that "A maximum of 20% of GFA can be office use without additional parking for the office use. Office use above 20% shall require parking at the appropriate rate". The total GFA of the entire building is 30,979 SF. 20% of the total building area is 6,196 SF. Therefore, 6,196 SF of the 8,857 SF categorized as office use does not need parking dedicated to it. This leaves 2,661 SF of office use to require parking (8,857 SF - 6,196 SF = 2,661 SF) at 4.5 spaces per 1,000 SF.

3. As a conservative measure, the parking requirement was also calculated by dedicating parking to the total office area (8,857 SF). In this case, 40 spaces are required for the Office Use, resulting in 47 total spaces required. Provided parking of 117 spaces still meets this requirement.

4. Parking requirement for office use in buildings up to 50,000 SF of floor area per Zoning Ordinance Section 550-56.J.

5. Parking requirements for Warehouse, Shipping and Receiving, and Storage Areas uses per Zoning Ordinance Section 550-56.J.

6. The proposed storage shed is included in the total site GFA. per Section 550-5 which specifies that gross floor area "shall include all other areas including cellars, warehousing and storage areas, regardless of ceiling height".

7. 110 of the 117 Total Parking Spaces provided are existing to remain.

ZONING TABLE					
VEOLIA NORTH AMERICA - FLANDERS FACILITY					
BLOCK No. 4500, LOT No. 37					
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NJ					
COMMERCIAL/LIGHT INDUSTRIAL DISTRICT (C-LI)					
ITEM	REQUIRED/ PERMITTED	EXISTING	PROPOSED	ORDINANCE SECTION*	CONDITION*
Land Use	Warehousing, Shipping and Receiving Office	Warehousing, Shipping and Receiving Office	Warehousing, Shipping and Receiving Office	550-103.C.1.c.	C
Permitted Use Requirements					
Lot Dimensions					
Min. Lot Area (SF)	5.0 AC	6.0 AC	6.0 AC	550 Attachment 4	C
Min. Lot Width (FT)	250 FT	270 FT	270 FT	550 Attachment 4	C
Min. Lot Depth (FT)	250 FT	834 FT	834 FT	550 Attachment 4	C
Max. Lot Coverage - Buildings (%)	N/A	9.5%	10.0%	550 Attachment 4	C
Max. Lot Coverage - Buildings and Pavement (%)	60%	55.8%	55.8%	550 Attachment 4	C
Building Setbacks					
Min. Front Yard (FT)	100 FT	288 FT	288 FT	550 Attachment 4	C
Min. Side Yard (FT)	50 FT (Principal/Accessory)	87 FT	87 FT (Principal/ Accessory)	550 Attachment 4	C
Min. Rear Yard (FT)	50 FT (Principal/Accessory)	210 FT	210 FT (Principal/ 76 FT (Accessory)	550 Attachment 4	C
Building Requirements					
Max. Building Height (FT)	45 FT	26.4 FT	26.4 FT	550 Attachment 4	C
Max. Floor Area Ratio ⁵	0.4	0.12	0.12	550 Attachment 4	C
Retaining Walls					
Max. Retaining Wall Height (FT)	6 FT	3.8 FT	5.8 FT	550-82.A.3.	C
Steep Slopes					
Max. Steep Slope Disturbance	(See Note 5)	N/A	3,185 SF	535.22.C.	V
Parking Requirements					
Min. Number of Parking Spaces ⁸	18 Spaces	117 Spaces	117 Spaces	550-56.J.	C
Min. Parking Space Dimensions (FT x FT)	18' X 10' or 20' X 9'	17.5' X 9'	17.5' X 9'	550-56.E.3.	ENC
Min. Number of ADA Spaces ⁹	2 Spaces	2 Spaces	2 Spaces	375-35.B.1.	C
Min. ADA Space Dimensions (FT)	12' Wide	11.4' Wide	11.4' FT Wide	375-35.B.3.	ENC
Min. Off-Street Loading Spaces ⁸	1 Space	22 Spaces	22 Spaces	550-56.I.3.	C
Min. Loading Space Dimensions (FT x FT)	80' X 10', 72' Apron	50' X 12', 50' Apron	55' X 12', 50' Apron	550-56.E.2.	ENC
Min. Drive Aisle Width (One Way - 60' Parking) (FT)	20 FT	N/A	25 FT	550-56.E.1.	C
Min. Drive Aisle Width (One Way - 90' Parking) (FT)	25 FT	N/A	30 FT	550-56.E.1.	C
Min. Drive Aisle Width (Two Way - 90' Parking) (FT)	25 FT	24 FT	24 FT	550-56.E.1.	ENC

Notes:

1. Ordinance sections referenced from Code of the Township of Mount Olive, Chapter 550: Land Use and 550 Attachment 4: Schedule of Limitations, Nonresidential Districts.

2. The proposed building coverage calculation includes the proposed storage shed area per the definition of "building coverage" in Ordinance Section 550-6. Building coverage is defined as "the area of a lot covered by buildings measured on a horizontal plane around the periphery of the foundation and including the area under the roof of any structure supported by columns but not having walls, as measured around the exterior of the roof above the columns".

3. A 1,470 SF storage shed and a 1,500 gal aboveground fueling station tank are proposed as accessory structures. Per Ordinance Section 550 Attachment 4, the principal setback requirements also apply to accessory structures.

4. The proposed floor area ratio calculation includes the proposed storage shed area per the definition of "floor area ratio" in Ordinance Section 550-5. Floor area ratio is defined as "the sum of the area of all floors of buildings or structures compared to the total area of the site".

5. A variance will be requested for steep slope disturbance per Section 535.22.C. The site is located in the Steep Slope Protection Area and contains approx. 39,000 SF of steep slopes ranging from limited constrained (15% to <20% non-forested slopes), moderately constrained (15% to <20%, forested slopes) and severely constrained slopes (20% or greater). Approx. 31,000 SF of that area is made up of contiguous steep slopes which fall into the limited to severely constrained classifications. The plan proposes the disturbance of approx. 3,185 SF of the contiguous severely constrained steep slopes.

6. Refer to Parking and Loading Summary Table for the calculation of the required minimum number of parking spaces.

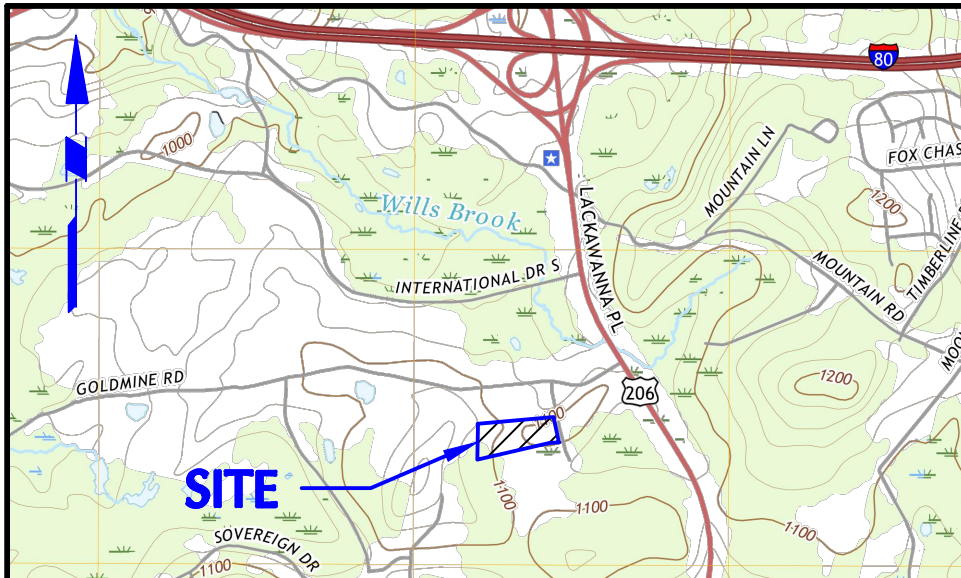
7. 38 of the existing car parking spaces are compliant with parking space dimension requirement (20' X 9') and the remainder range from 17' X 9', 17.5' X 9', and 19' X 9'. All newly proposed striping is compliant with the required dimensions.

8. For ADA accessible parking, a minimum of 1% of the total number of parking spaces, but not less than two parking spaces, shall be provided.

9. One loading space is required for the first 5,000 SF of gross floor area. A second loading space is required at 40,000 SF. The existing building to remain is approx. 25,000 SF, therefore a minimum of 1 loading space is required.

Condition Abbreviations:

V - Variance Required
N/A - Not Available / Not Applicable
ENC - Existing Nonconformity
W - Waiver
C - Compliance

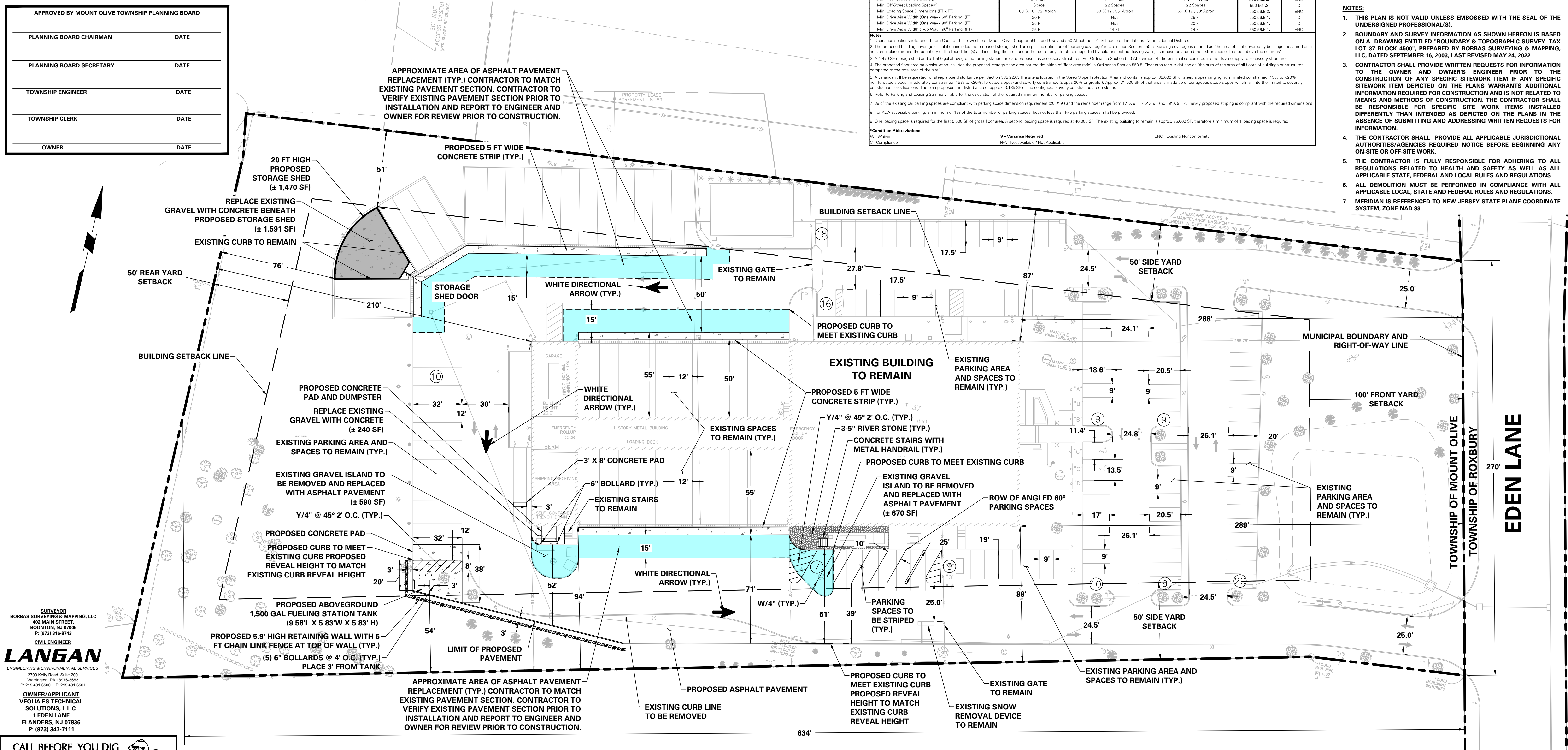


PROJECT LOCATION MAP

SCALE: 1" = 2000'

SOURCE: STANFORD USGS QUAD MAP

- NOTES:
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - BOUNDARY AND SURVEY INFORMATION AS SHOWN HEREON IS BASED ON A DRAWING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY: TAX LOT 37 BLOCK 4500", PREPARED BY BORBAS SURVEYING & MAPPING, LLC, DATED SEPTEMBER 16, 2003, LAST REVISED MAY 24, 2022.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNERS ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
 - THE CONTRACTOR SHALL PROVIDE ALL APPLICABLE JURISDICTIONAL AUTHORITIES/AGENCIES REQUIRED NOTICE BEFORE BEGINNING ANY ON-SITE OR OFF-SITE WORK.
 - THE CONTRACTOR IS FULLY RESPONSIBLE FOR ADHERING TO ALL REGULATIONS RELATED TO HEALTH AND SAFETY AS WELL AS ALL APPLICABLE STATE, FEDERAL AND LOCAL RULES AND REGULATIONS.
 - ALL DEMOLITION MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 - MERIDIAN IS REFERENCED TO NEW JERSEY STATE PLANE COORDINATE SYSTEM, ZONE NAD 83



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5-1-23	REVISED PER MCSD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature GREGORY ELKO
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04139500

Date

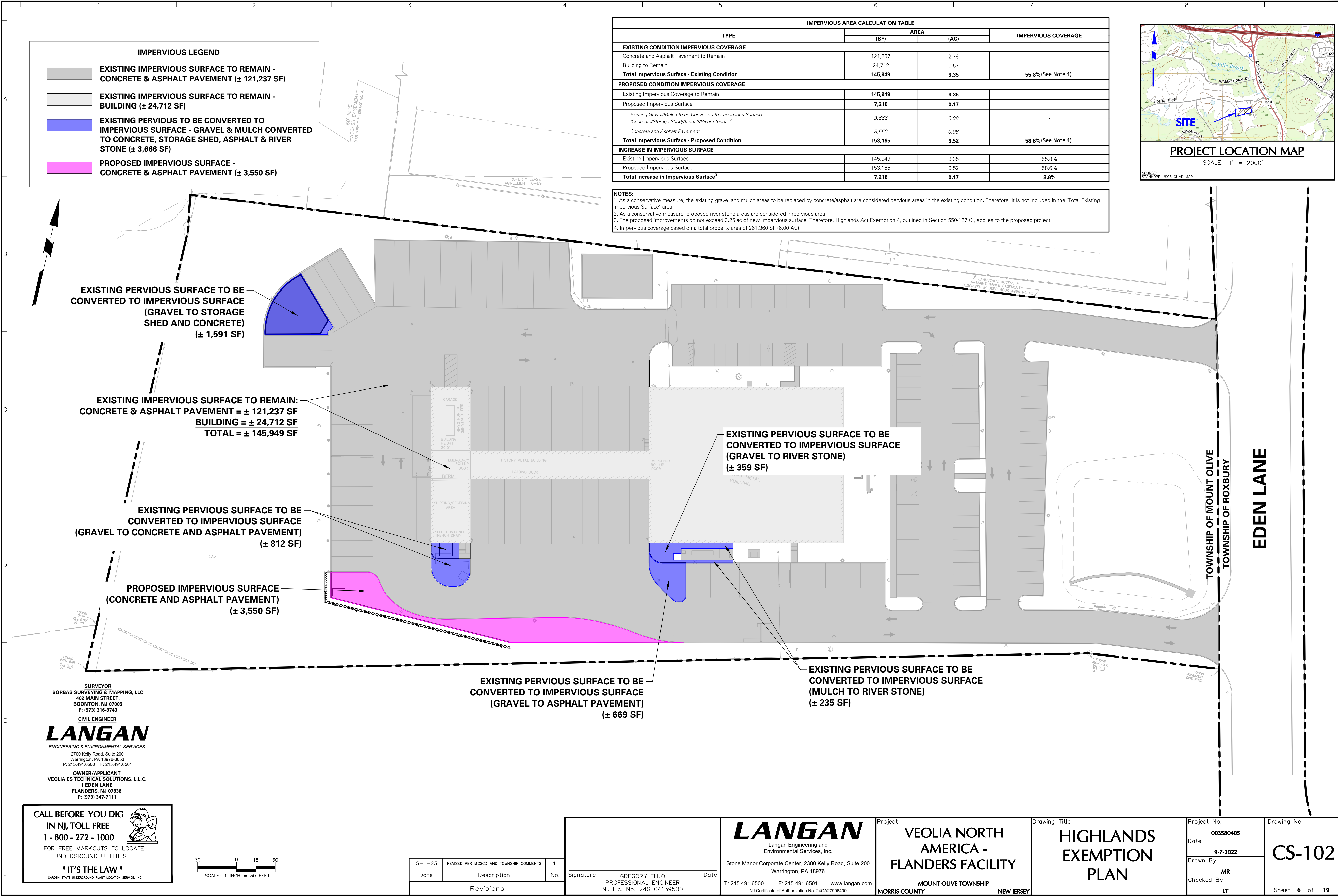
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Project
VEOLIA NORTH
AMERICA -
FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
NEW JERSEY

Drawing Title
SITE PLAN
(RECORD PLAN)

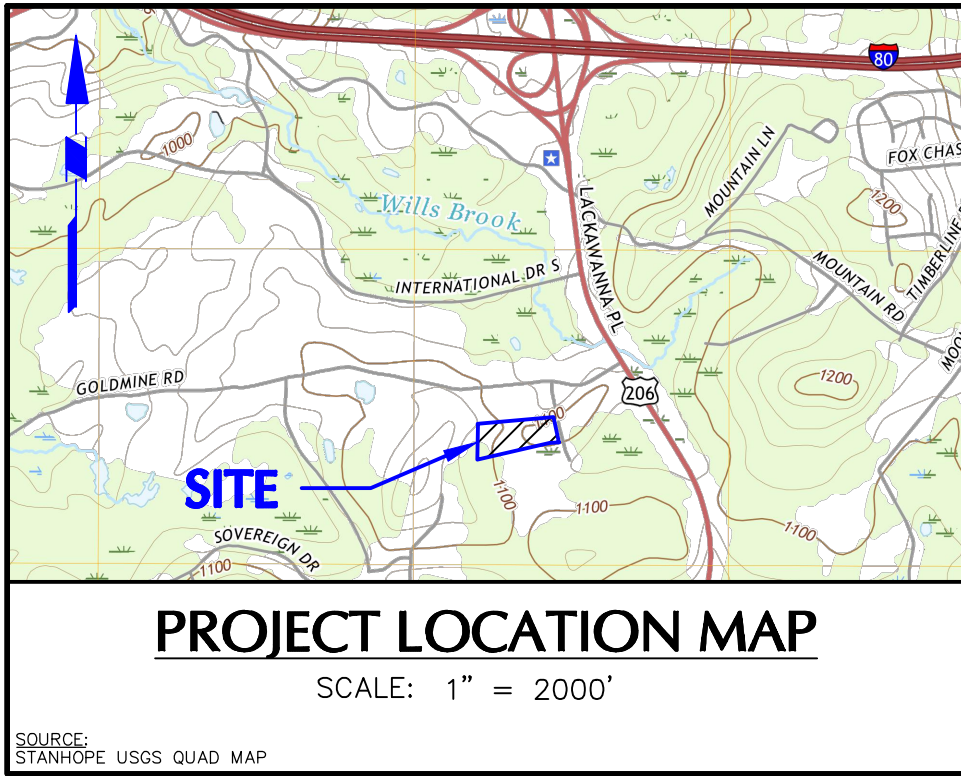
Project No.
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Date
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MR
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LT

Drawing No.
CS-101
Sheet 5 of 19



IMPERVIOUS AREA CALCULATION TABLE			
TYPE	AREA		IMPERVIOUS COVERAGE
	(SF)	(AC)	
EXISTING CONDITION IMPERVIOUS COVERAGE			
Concrete and Asphalt Pavement to Remain	121,237	2.78	
Building to Remain	24,712	0.57	
Total Impervious Surface - Existing Condition	145,949	3.35	55.8%(See Note 4)
PROPOSED CONDITION IMPERVIOUS COVERAGE			
Existing Impervious Coverage to Remain	145,949	3.35	-
Proposed Impervious Surface	7,216	0.17	-
Existing Gravel/Mulch to be Converted to Impervious Surface (Concrete/Storage Shed/Asphalt/River stone) ^{1,2}	3,666	0.08	-
Concrete and Asphalt Pavement	3,550	0.08	-
Total Impervious Surface - Proposed Condition	153,165	3.52	58.6%(See Note 4)
INCREASE IN IMPERVIOUS SURFACE			
Existing Impervious Surface	145,949	3.35	55.8%
Proposed Impervious Surface	153,165	3.52	58.6%
Total Increase in Impervious Surface ³	7,216	0.17	2.8%

NOTES:
1. As a conservative measure, the existing gravel and mulch areas to be replaced by concrete/asphalt are considered pervious areas in the existing condition. Therefore, it is not included in the 'Total Existing Impervious Surface' area.
2. As a conservative measure, proposed river stone areas are considered impervious area.
3. The proposed improvements do not exceed 0.25 ac of new impervious surface. Therefore, Highlands Act Exemption 4, outlined in Section 550-127.C., applies to the proposed project.
4. Impervious coverage based on a total property area of 261,360 SF (6.00 AC).

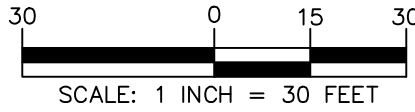


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5-1-23	REVISED PER MCSCD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature GREGORY ELKO
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04139500

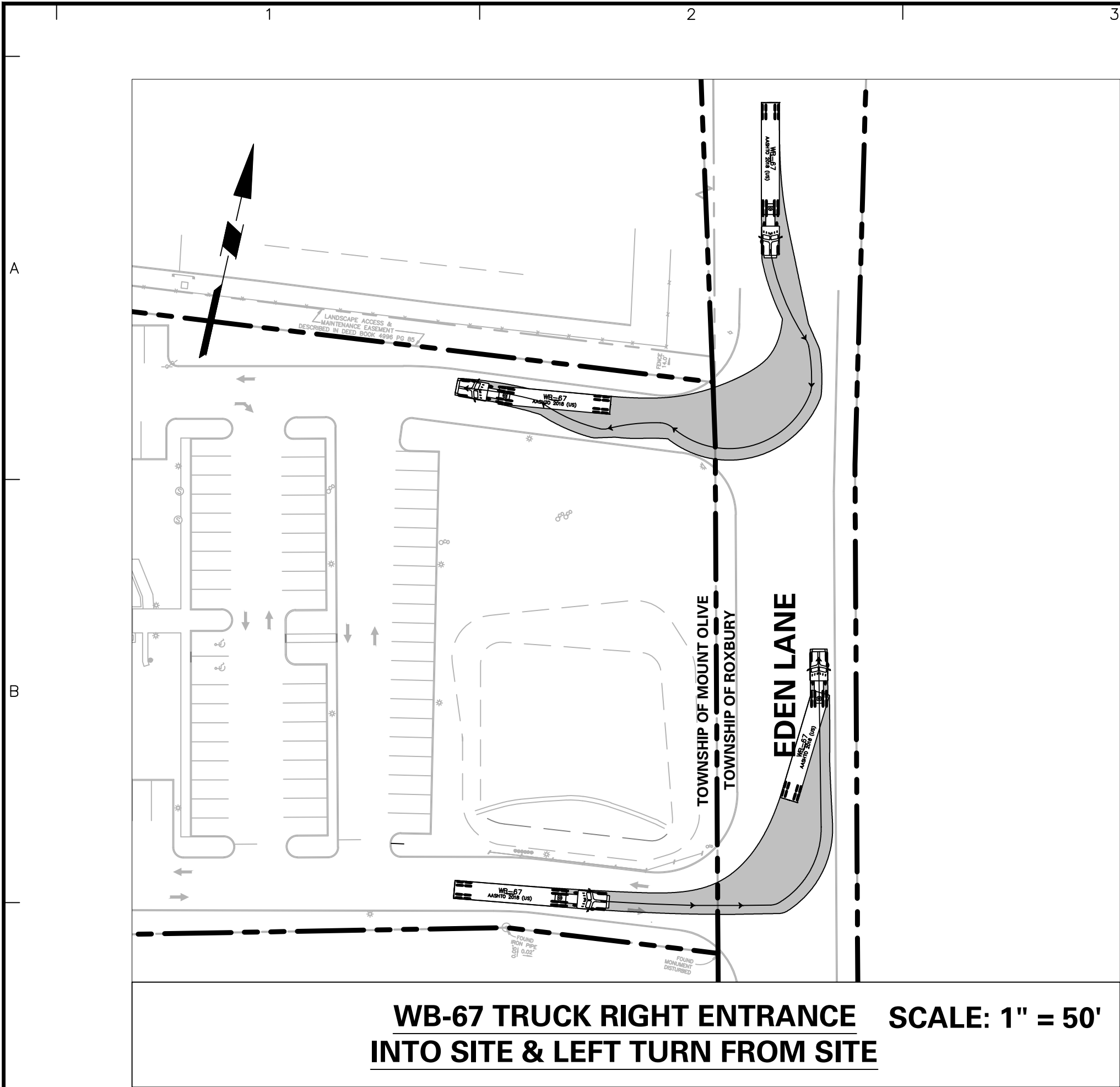
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Project
VEOLIA NORTH
AMERICA -
FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

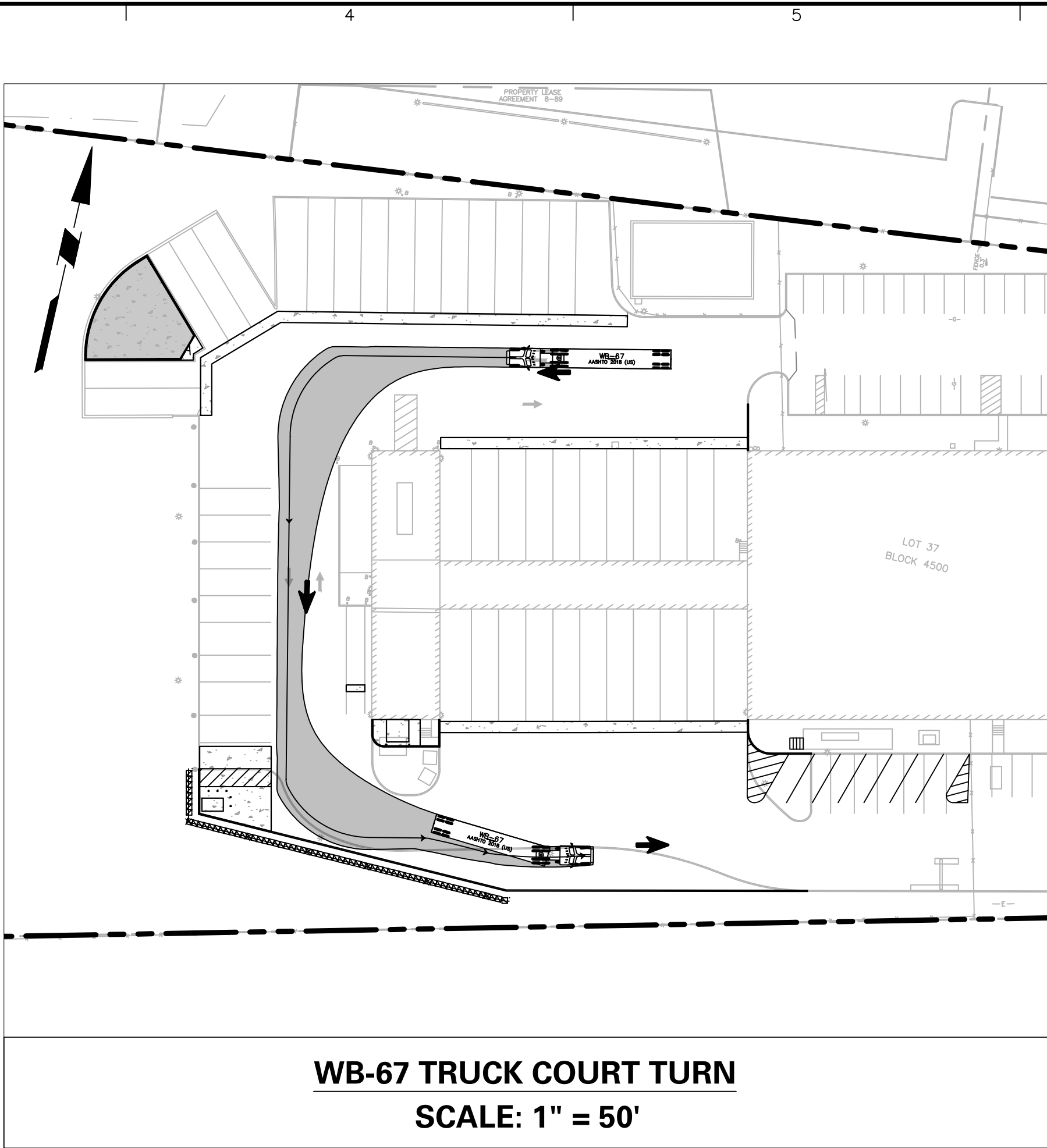
Drawing Title
HIGHLANDS
EXEMPTION
PLAN

Project No.
003580405
Date
9-7-2022
Drawn By
MR
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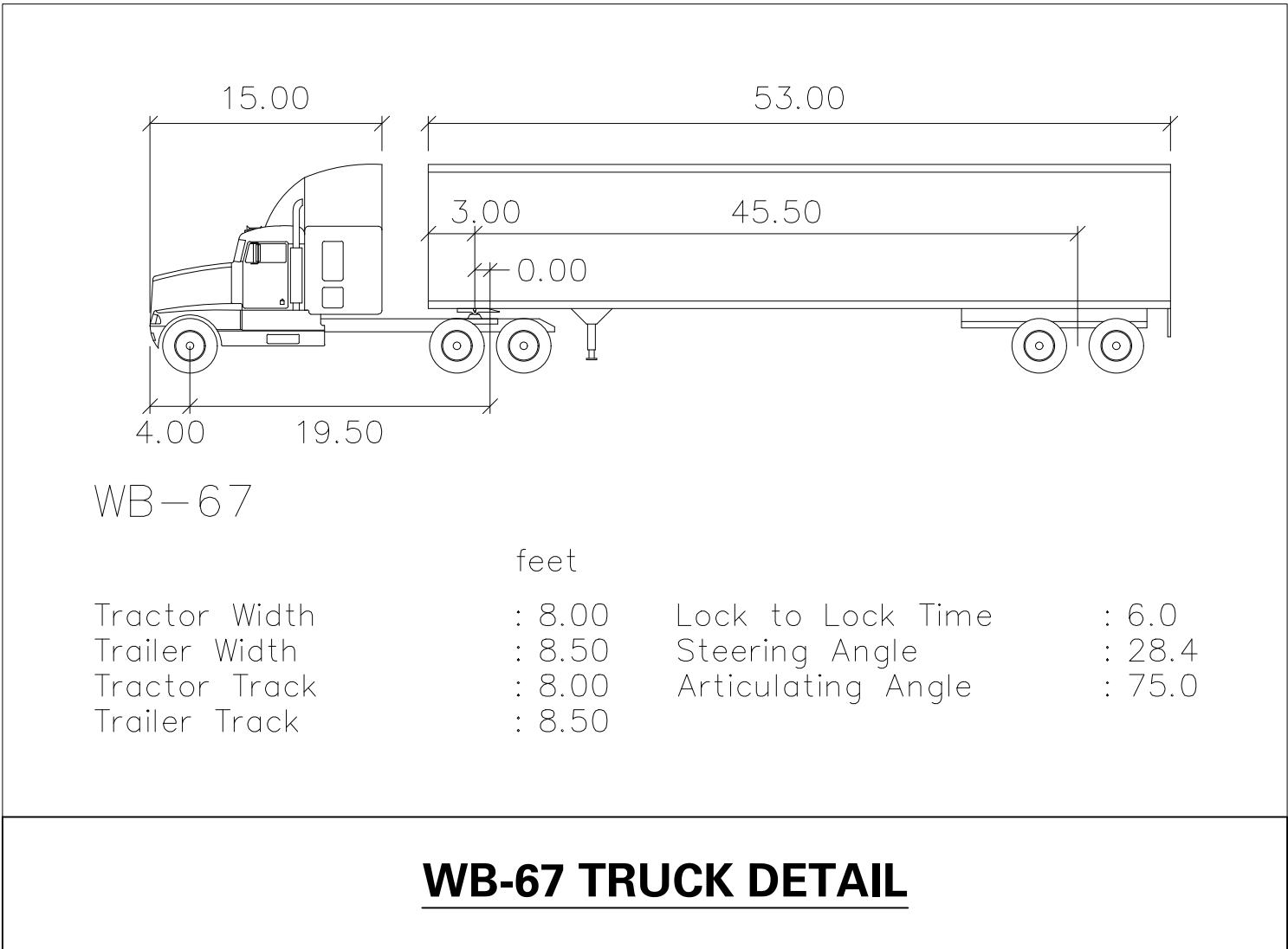
Drawing No.
CS-102
Sheet 6 of 19



WB-67 TRUCK RIGHT ENTRANCE INTO SITE & LEFT TURN FROM SITE
SCALE: 1" = 50'

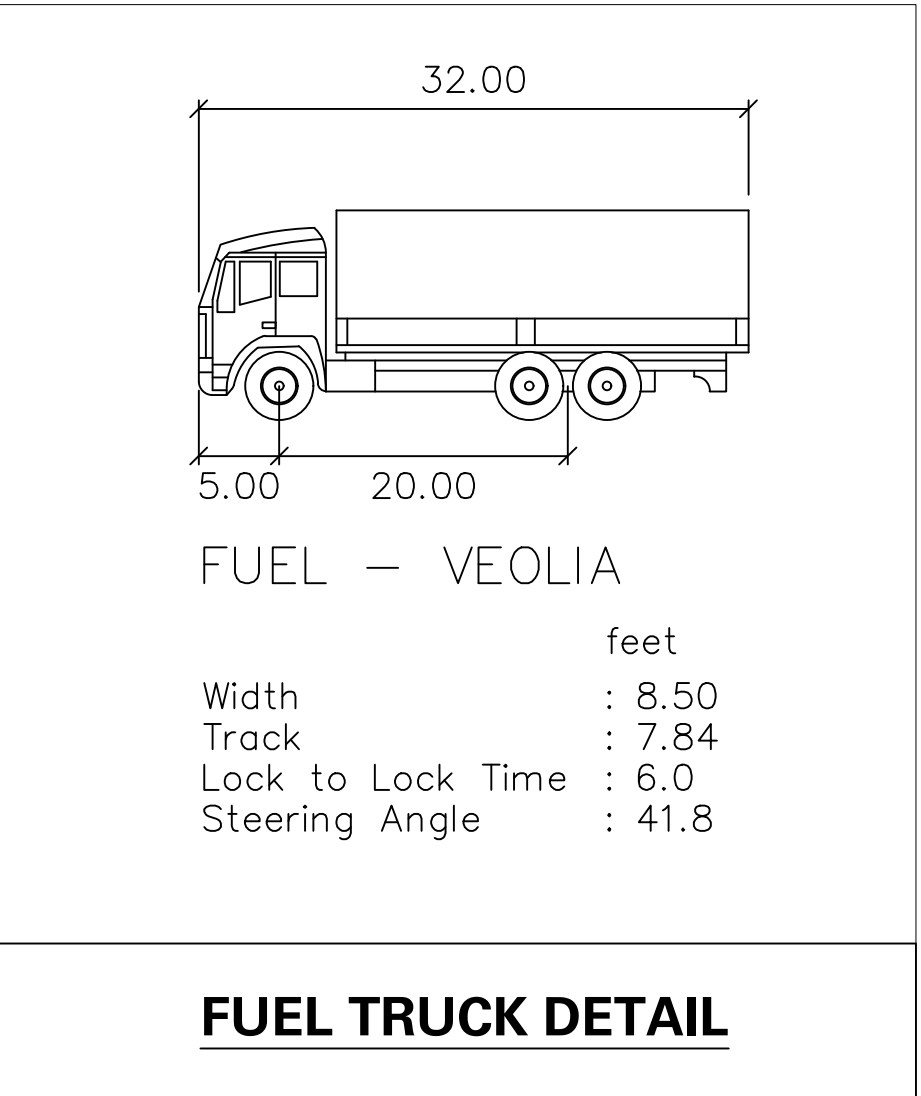


WB-67 TRUCK COURT TURN
SCALE: 1" = 50'



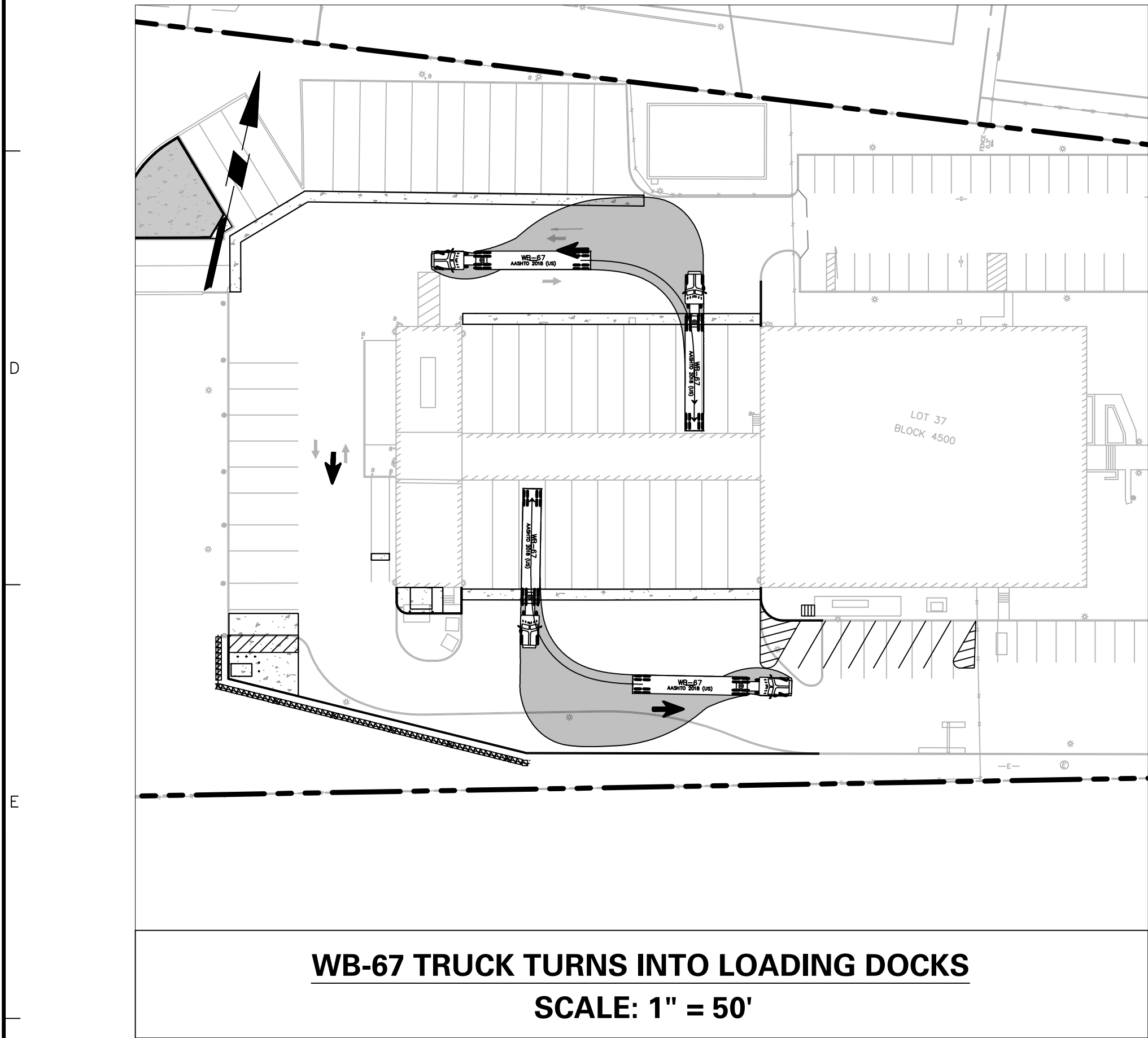
WB-67			
feet			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

WB-67 TRUCK DETAIL

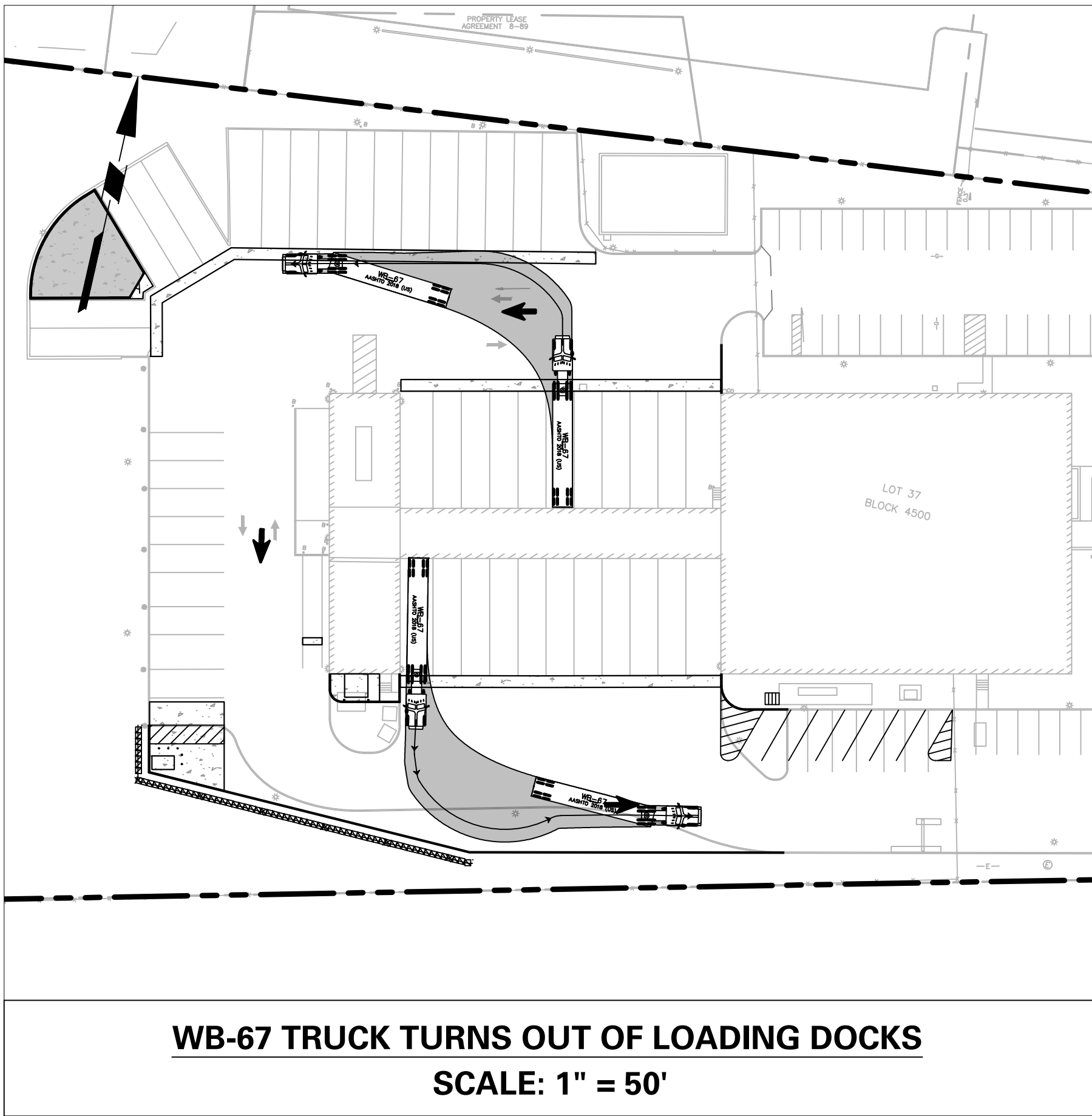


FUEL - VEOLIA	
feet	
Width	: 8.50
Track	: 7.84
Lock to Lock Time	: 6.0
Steering Angle	: 41.8

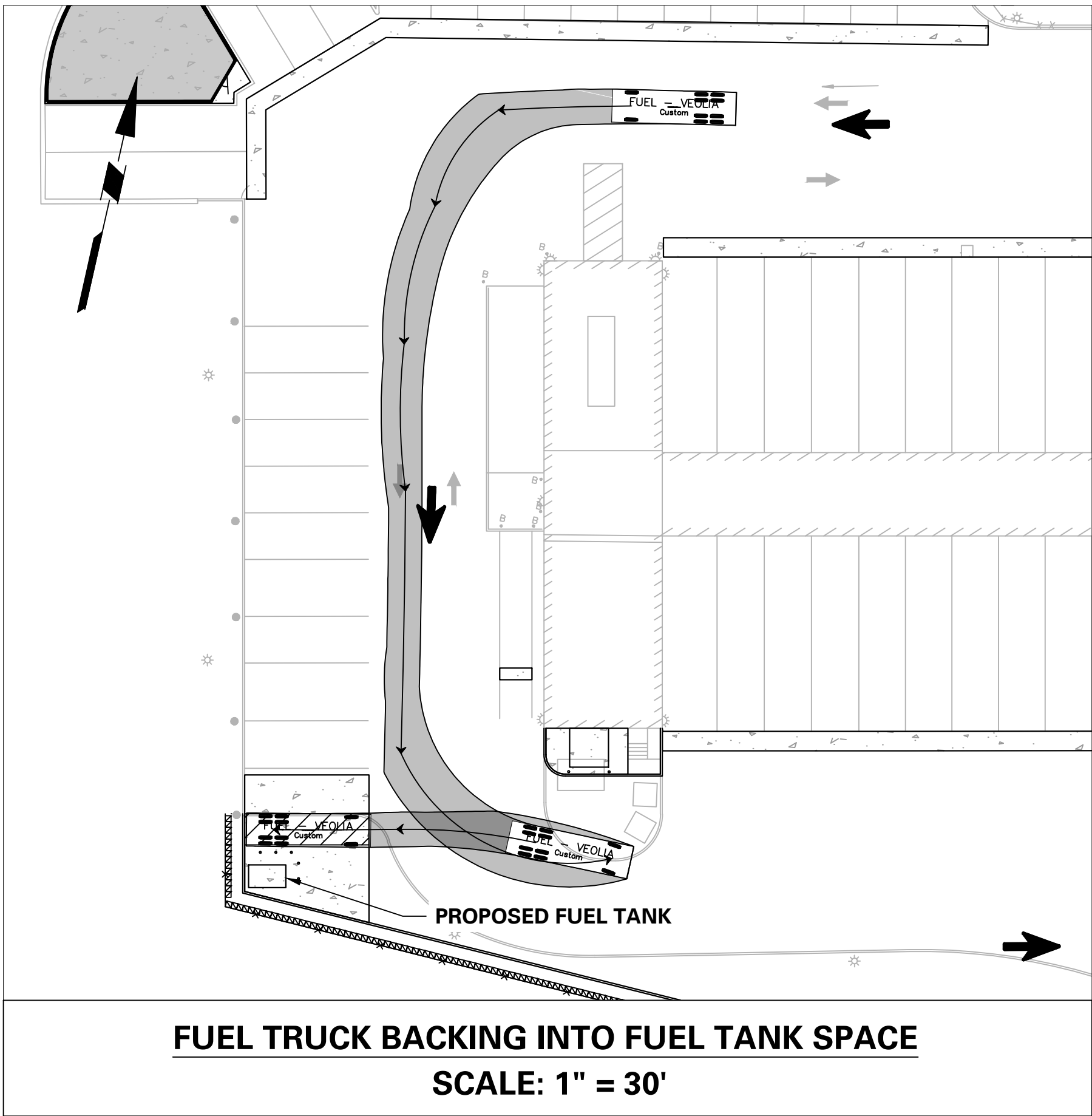
FUEL TRUCK DETAIL



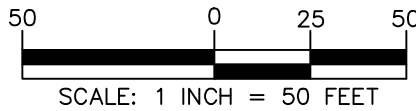
WB-67 TRUCK TURNS INTO LOADING DOCKS
SCALE: 1" = 50'



WB-67 TRUCK TURNS OUT OF LOADING DOCKS
SCALE: 1" = 50'



FUEL TRUCK BACKING INTO FUEL TANK SPACE
SCALE: 1" = 30'



5-1-23	REVISED PER MCSO AND TOWNSHIP COMMENTS	1.
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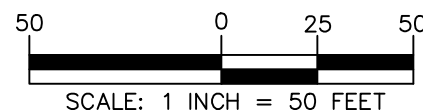
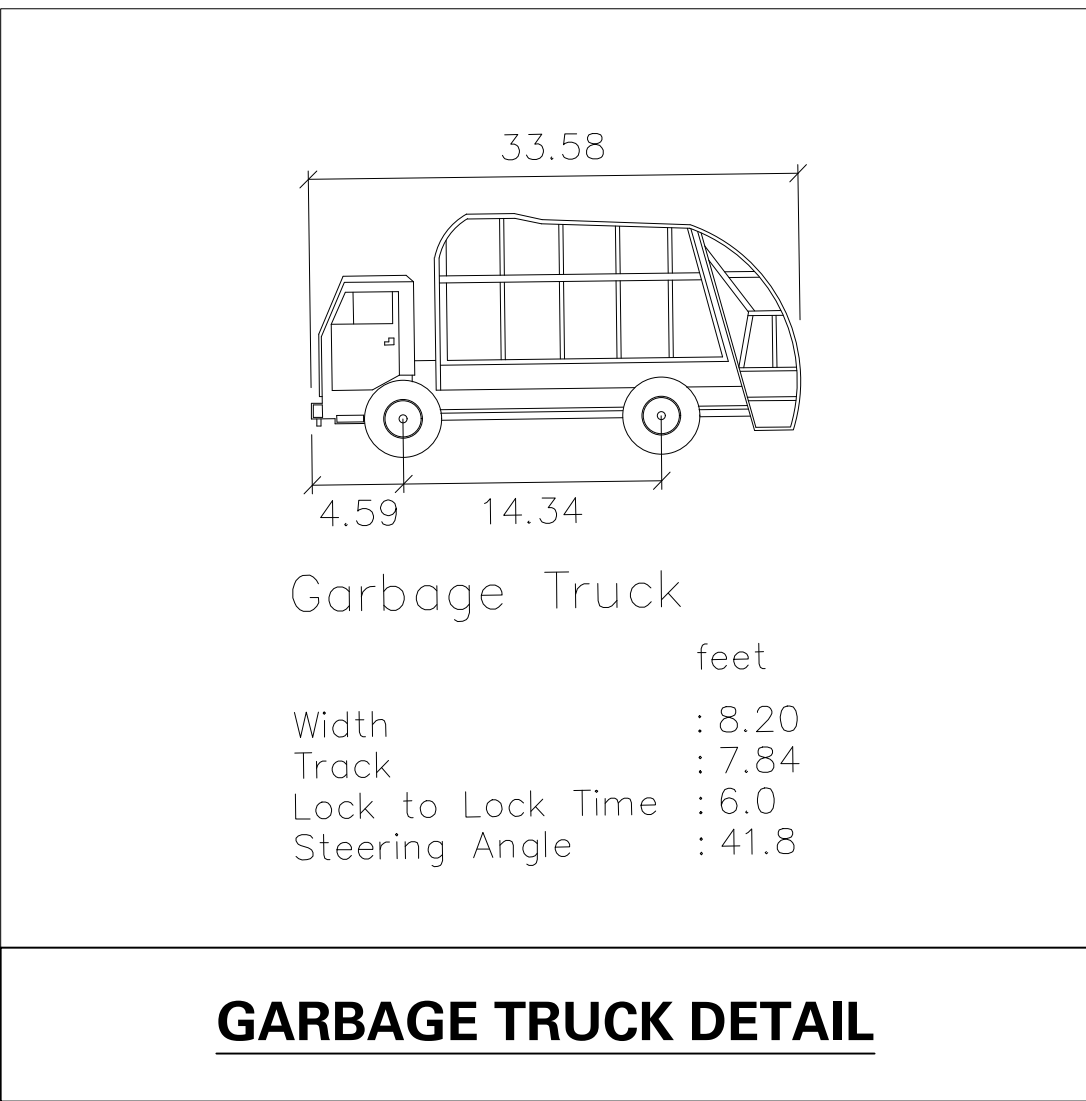
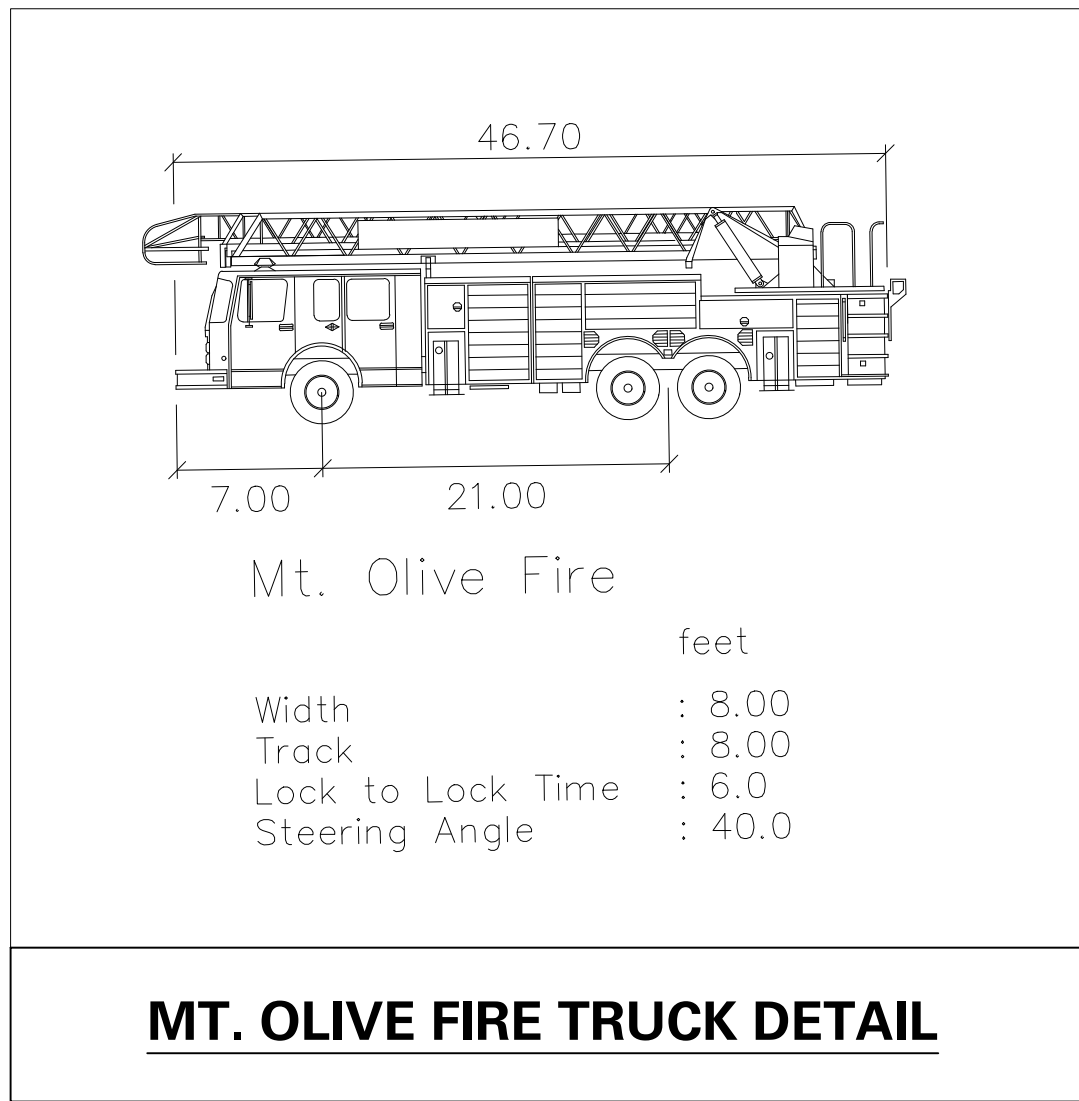
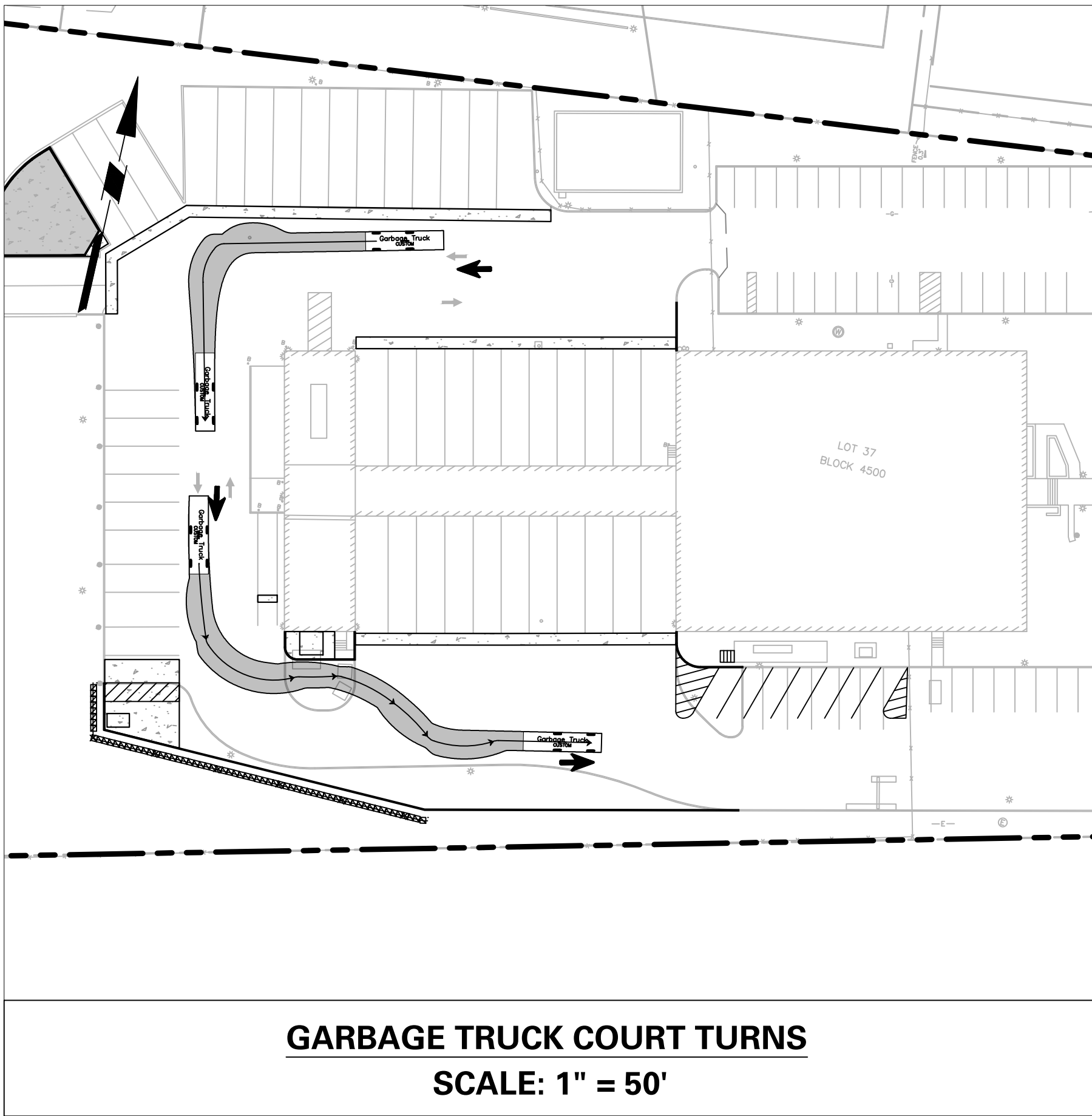
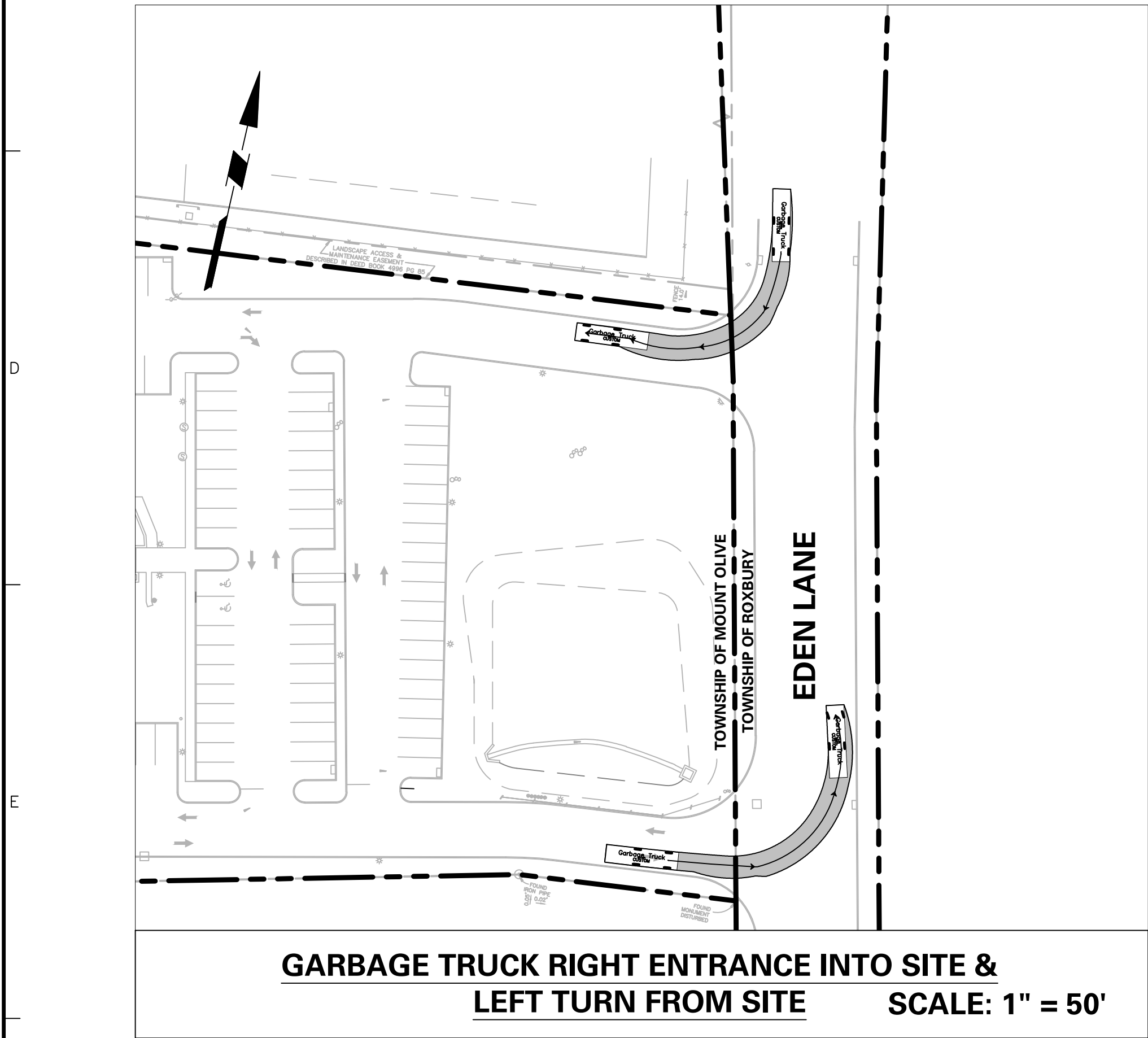
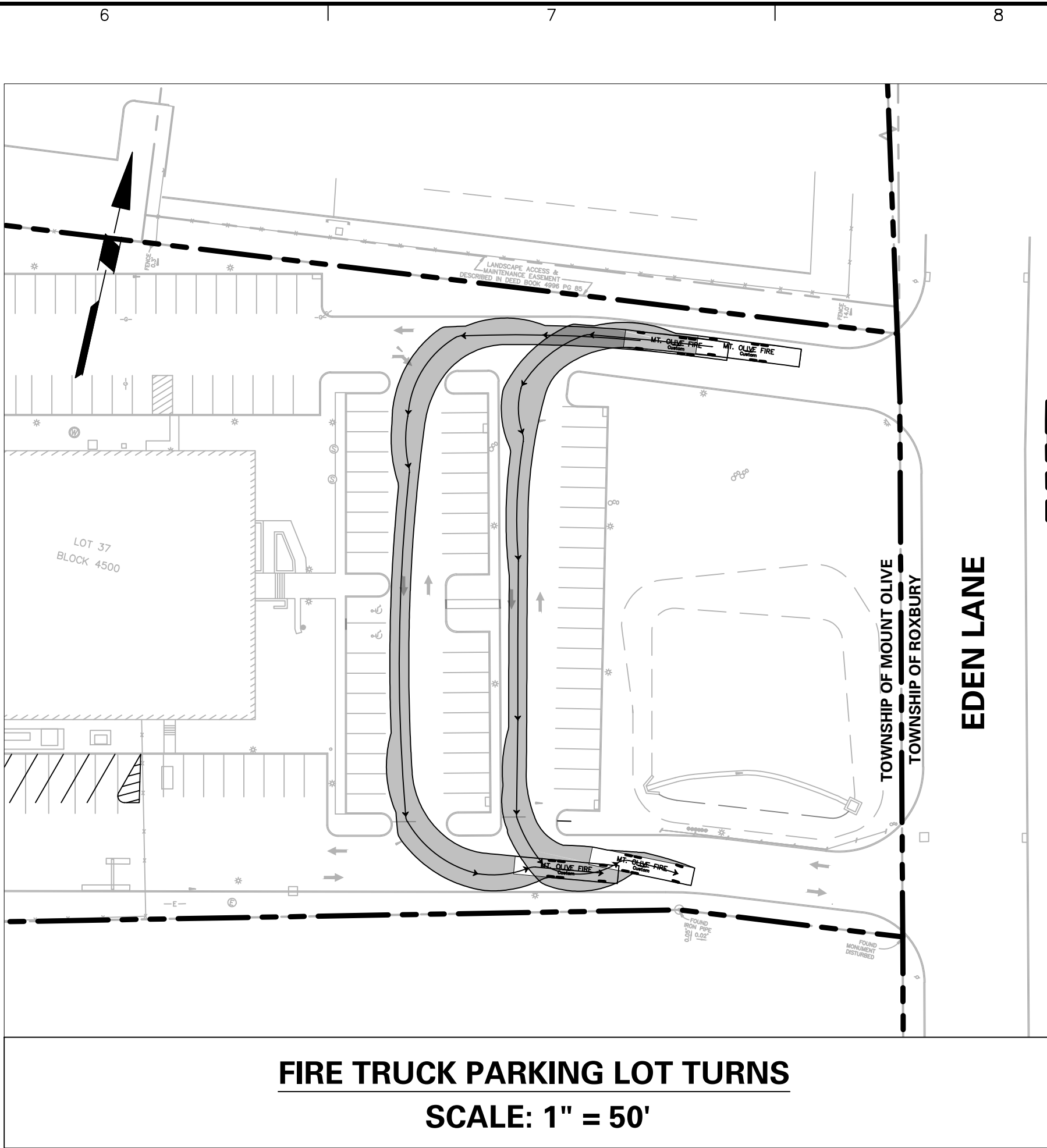
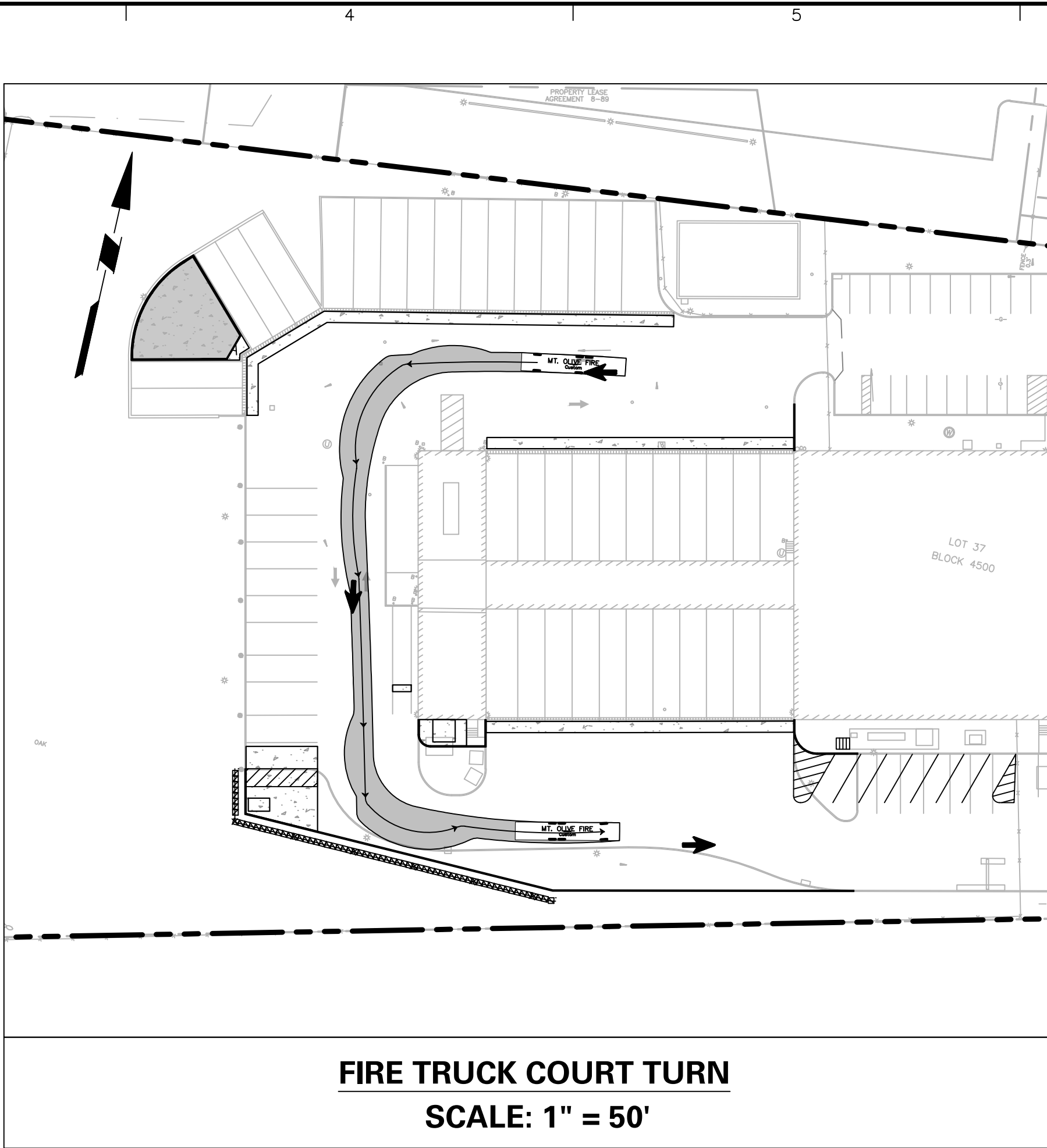
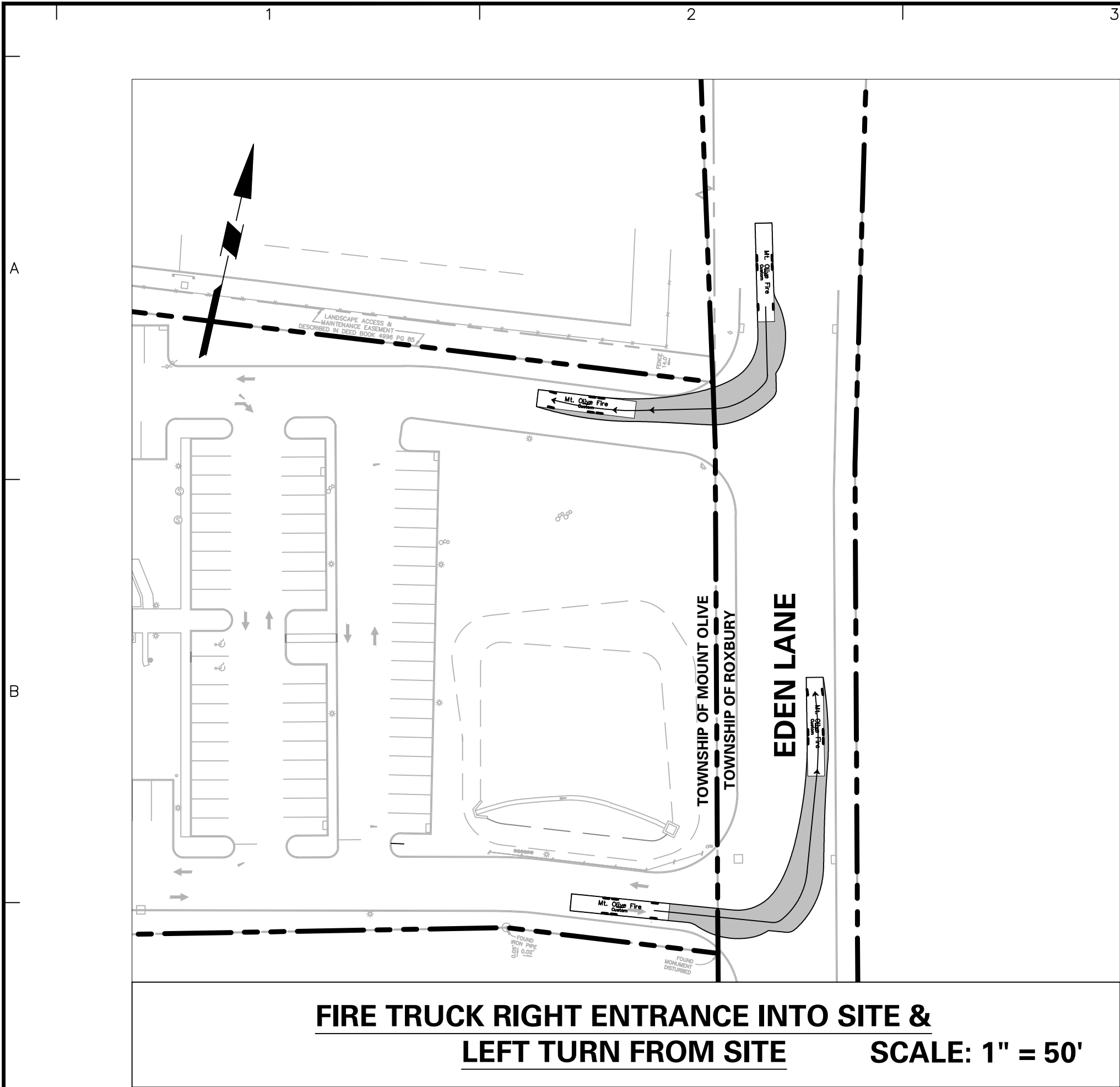
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Project
VEOLIA NORTH AMERICA - FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Drawing Title
TRUCK MOVEMENT PLAN - WB-67 & FUEL TRUCK

Project No.
003580405
Date
9-7-2022
Drawn By
MR
Checked By
LT

Drawing No.
CS-201
Sheet **7** of **19**



5-1-23	REVISED PER MCSO AND TOWNSHIP COMMENTS	1.
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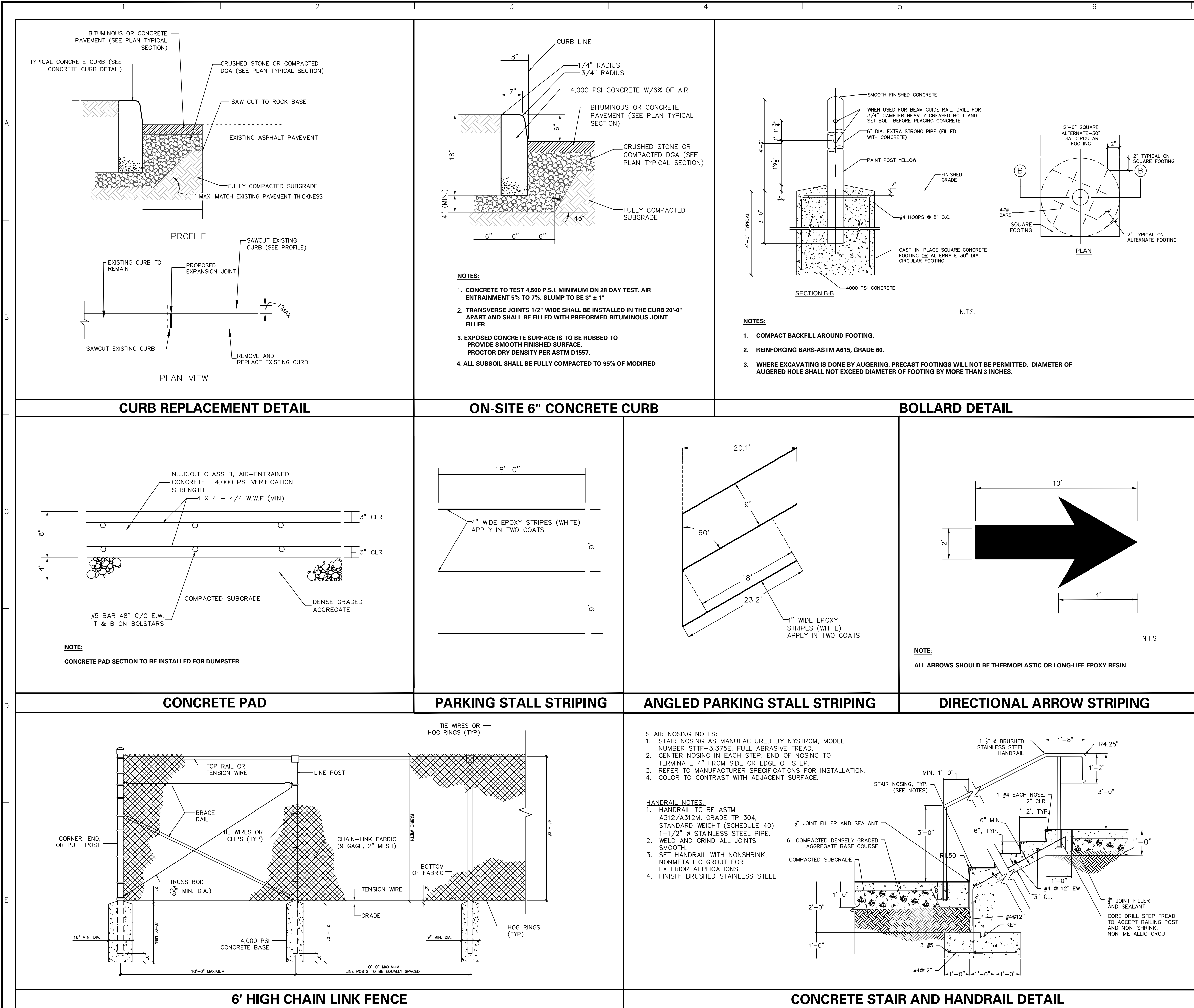
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Project
VEOLIA NORTH AMERICA - FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Drawing Title
TRUCK MOVEMENT PLAN - FIRE & GARBAGE

Project No.
003580405
Date
9-7-2022
Drawn By
MR
Checked By
LT

Drawing No.
CS-202
Sheet **8** of **19**



F

5-1-23	REVISED PER MCSO AND TOWNSHIP COMMENTS	1.
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Project
**VEOLIA NORTH
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FLANDERS FACILITY**
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

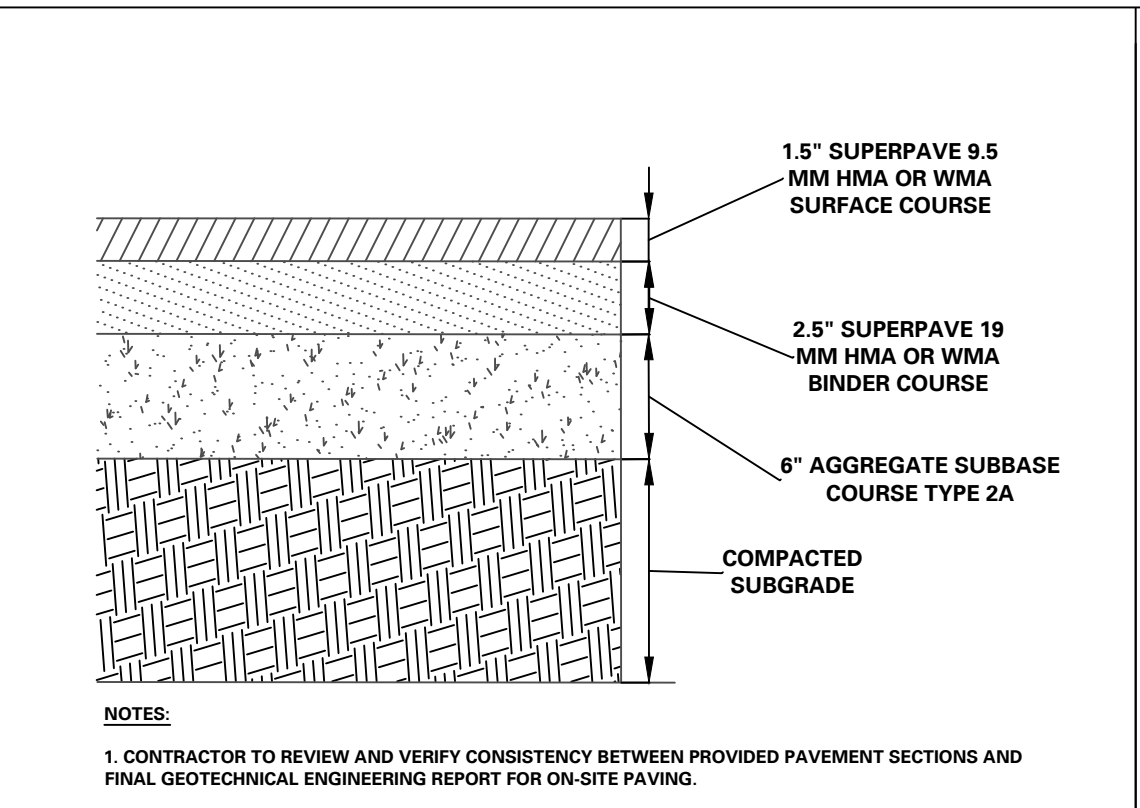
Drawing Title
SITE DETAILS

Project No.
003580405
Date
9-7-2022
Drawn By
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Checked By
LT

Drawing No.
CS-501
Sheet **9** of **19**

PAVEMENT LEGEND

- PROPOSED HEAVY-DUTY ASPHALT PAVEMENT SECTION (± 2,785 SF)
- PROPOSED HEAVY-DUTY ASPHALT PAVEMENT SECTION TO BE REPLACED (± 9,110 SF)
- PROPOSED HEAVY-DUTY CONCRETE PAVEMENT (± 5,315 SF)
- PROPOSED RIVER STONE (± 555 SF)

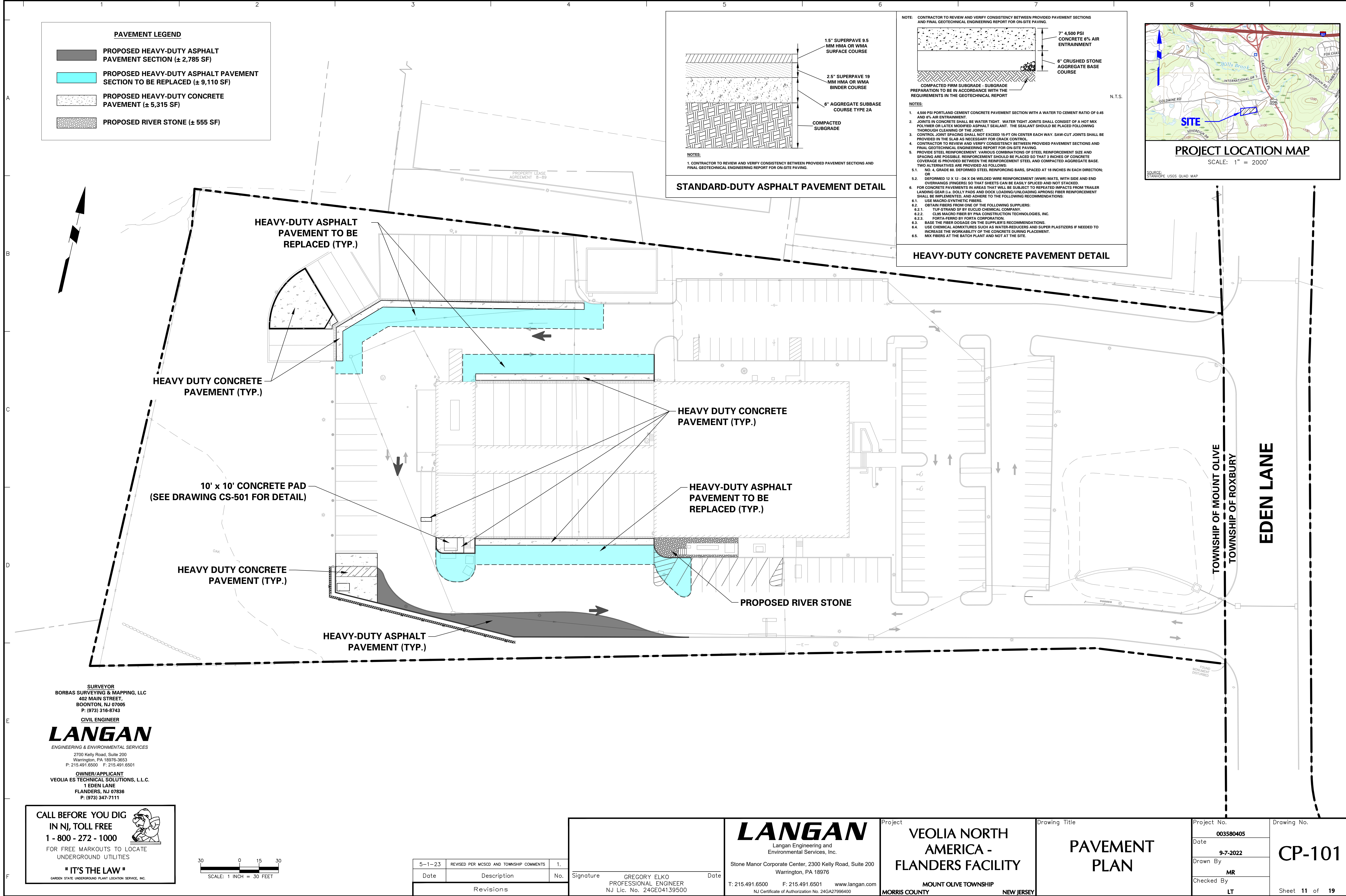
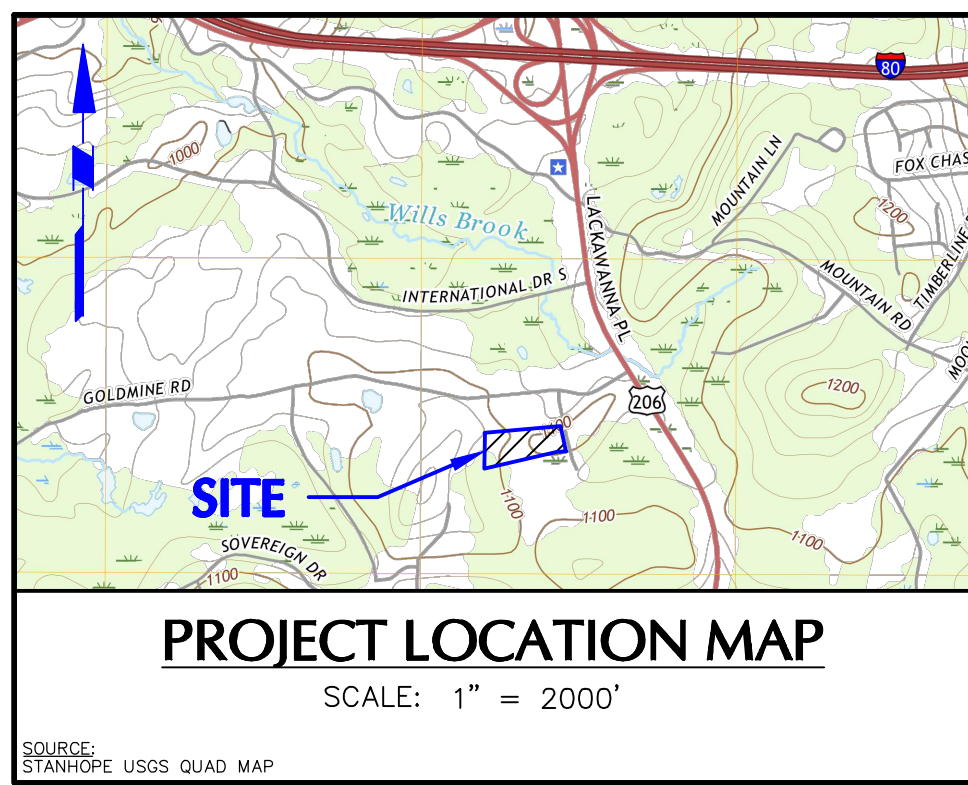


HEAVY-DUTY CONCRETE PAVEMENT DETAIL

NOTE: CONTRACTOR TO REVIEW AND VERIFY CONSISTENCY BETWEEN PROVIDED PAVEMENT SECTIONS AND FINAL GEOTECHNICAL ENGINEERING REPORT FOR ON-SITE PAVING.

NOTES:

- 4,500 PSI PORTLAND CEMENT CONCRETE PAVEMENT SECTION WITH A WATER TO CEMENT RATIO OF 0.45 AND 6% AIR ENTRAINMENT.
- JOINTS IN CONCRETE SHALL BE WATER TIGHT. WATER TIGHT JOINTS SHALL CONSIST OF A HOT MIX POLYMER OR LATEX MODIFIED ASPHALT SEALANT. THE SEALANT SHOULD BE PLACED FOLLOWING THOROUGH CLEANING OF THE JOINT.
- CONTROL JOINT SPACING SHALL NOT EXCEED 15 FT ON CENTER EACH WAY. SAW-CUT JOINTS SHALL BE PROVIDED IN THE SLAB AS NECESSARY FOR CRACK CONTROL.
- CONTRACTOR TO REVIEW AND VERIFY CONSISTENCY BETWEEN PROVIDED PAVEMENT SECTIONS AND FINAL GEOTECHNICAL ENGINEERING REPORT FOR ON-SITE PAVING.
- PROVIDE STEEL REINFORCEMENT. VARIOUS COMBINATIONS OF STEEL REINFORCEMENT SIZE AND SPACING ARE POSSIBLE. REINFORCEMENT SHOULD BE PLACED SO THAT 3 INCHES OF CONCRETE COVERAGE IS PROVIDED BETWEEN THE REINFORCEMENT STEEL AND COMPACTED AGGREGATE BASE. TWO ALTERNATIVES ARE PROVIDED AS FOLLOWS:
 - NO. 4, GRADE 60, DEFORMED STEEL REINFORCING BARS, SPACED AT 18 INCHES IN EACH DIRECTION; OR
 - DEFORMED 12 X 12, D6 X D6 WELDED WIRE REINFORCEMENT (WWRM) MATS, WITH SIDE AND END OVERHANGS (FINGERS) SO THAT SHEETS CAN BE EASILY SPICED AND NOT STACKED.
- FOR CONCRETE PAVEMENTS IN AREAS THAT WILL BE SUBJECT TO REPEATED IMPACTS FROM TRAILER LANDING GEAR I.e. DOLLY PADS AND DOCK LOADING/UNLOADING APRONS, FIBER REINFORCEMENT SHALL BE IMPLEMENTED, AND ADHERE TO THE FOLLOWING RECOMMENDATIONS:
 - USE MACRO-SYNTHETIC FIBERS.
 - OBTAIN FIBERS FROM ONE OF THE FOLLOWING SUPPLIERS:
 - TUF-STRAND SF BY EUCLID CHEMICAL COMPANY.
 - CLIS MACRO FIBER BY PNA CONSTRUCTION TECHNOLOGIES, INC.
 - FORTA-FIBER BY FORTA CORPORATION.
 - BASE THE FIBER DOSAGE ON THE SUPPLIER'S RECOMMENDATIONS.
 - USE CHEMICAL ADMIXTURES SUCH AS WATER-REDUCERS AND SUPER PLASTIZERS IF NEEDED TO INCREASE THE WORKABILITY OF THE CONCRETE DURING PLACEMENT.
 - MIX FIBERS AT THE BATCH PLANT AND NOT AT THE SITE.



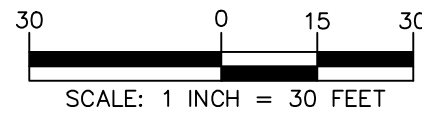
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5-1-23	REVISED PER MCSGD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature GREGORY ELKO
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04139500

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NJ Certificate of Authorization No. 24GA27996400

Project
VEOLIA NORTH
AMERICA -
FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Drawing Title
PAVEMENT
PLAN

Project No.
003580405
Date
9-7-2022
Drawn By
MR
Checked By
LT

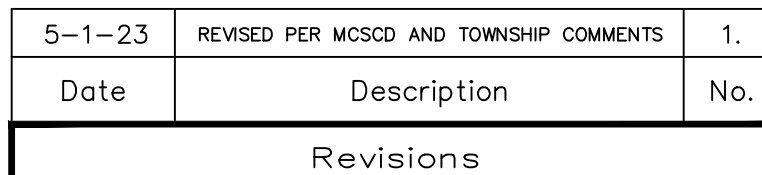
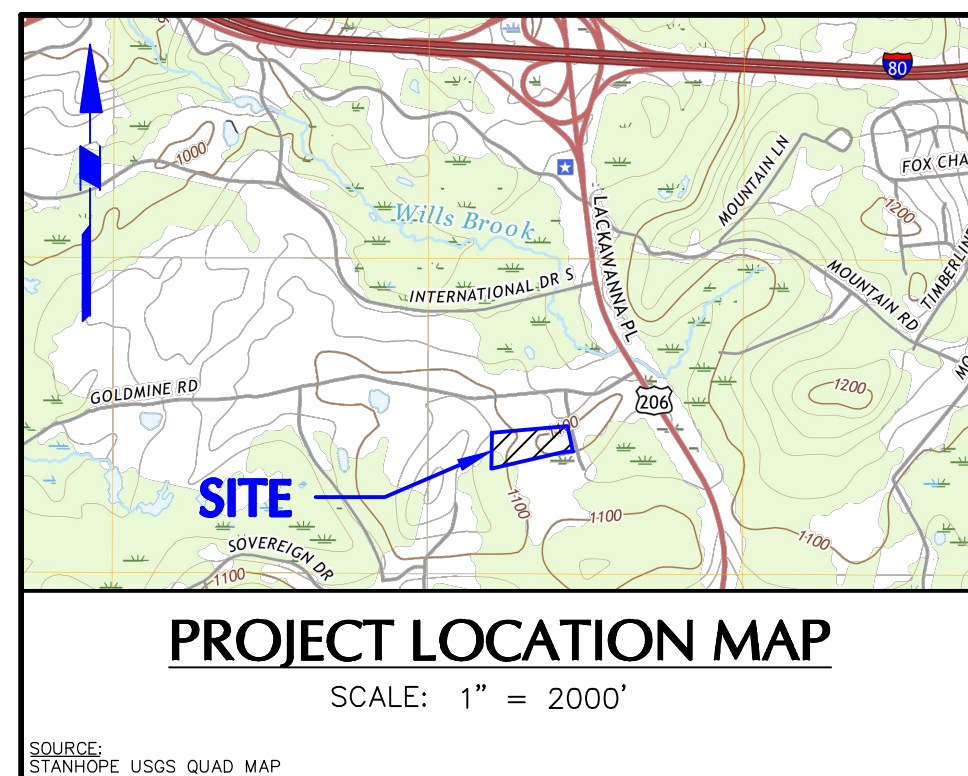
Drawing No.
CP-101
Sheet 11 of 19

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO RELOCATE OR FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- | FILL AREA | PERCENT OF MAXIMUM
MODIFIED PROCTOR DRY DENSITY |
|-----------------|--|
| PAVEMENT | 95% |
| SIDEWALKS | 95% |
| LANDSCAPE AREAS | 93& |
| TRENCH BACKFILL | SAME AS SURROUNDING AREA |

- OWNER/APPLICANT**
VEOLIA ES TECHNICAL SOLUTIONS, L.L.C.
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FLANDERS, NJ 07836
P: (973) 347-7111

1. LOCATIONS OF EXISTING UTILITIES ARE BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY: TAX LOT 37 BLOCK 4500" BY BORBAS SURVEYING & MAPPING, LLC, DATED 9-16-2003, LAST REVISED 5-24-2022.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR MUST COMPLY WITH ALL STATE AND FEDERAL CONFINED SPACE RULES.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING A PRE-CONSTRUCTION MEETING WITH ALL UTILITY COMPANIES PRIOR TO WORK.
6. THE CONTRACTOR SHALL PAY ALL FEES INCLUDING INSPECTION FEES, AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE EXECUTION OF THE PROJECT.
7. INSPECTION OF OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY OR TOWNSHIP OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND LAWS.



Signature	GREGORY ELKO PROFESSIONAL ENGINEER NJ Lic. No. 24GE04139500	Date
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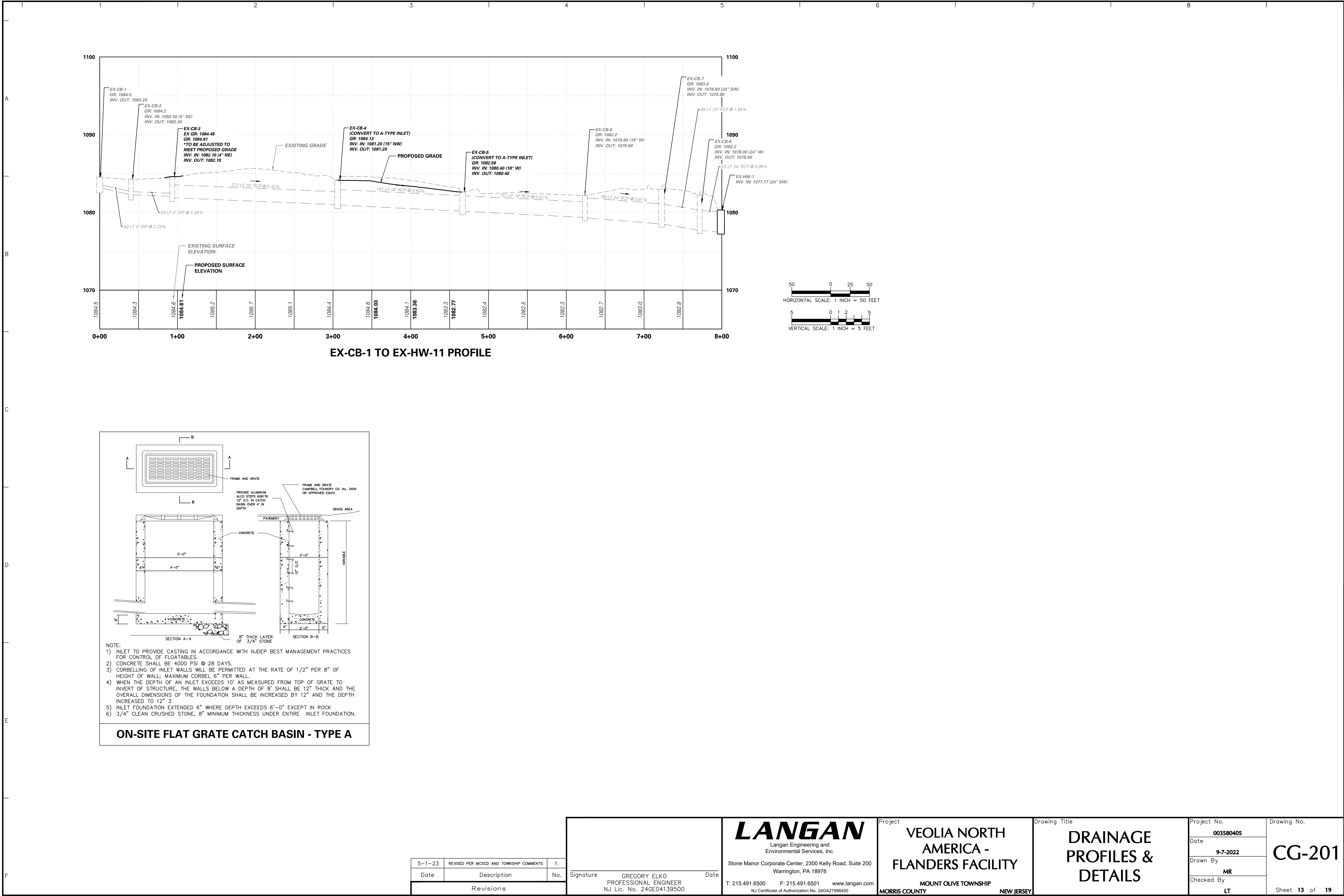
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Project No.	003580403
Date	9-7-2022
Drawn By	MR
Checked By	LT

Drawing No.

CG-101

Sheet **12** of **19**



NOTES:
1. THE SITE IS EXEMPT FROM THE SOIL COMPACTION REMEDIATION REQUIREMENTS PER THE STANDARD FOR LAND GRADING IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (7TH EDITION), LAST REVISED JULY 2017. PER THE SOIL MANAGEMENT PREPARATION SECTION ON SHEET 19-2, BECAUSE THE SOILS AND GRAVEL SURFACES WILL BE REQUIRED TO SUPPORT POST-CONSTRUCTION VEHICULAR TRAFFIC LOADS, THE SITE IS EXEMPT FROM THESE REQUIREMENTS.

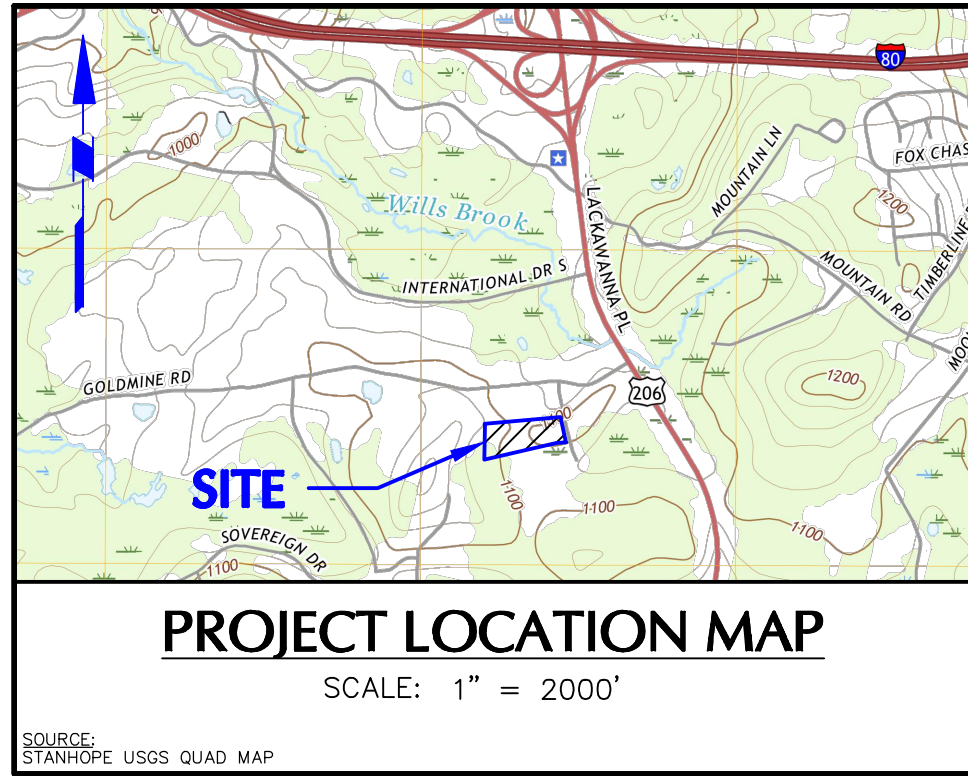
ON-SITE SOIL TYPE DESCRIPTIONS						
MAP SYMBOL	SOIL	HYDROLOGICAL SOIL GROUP	HYDRIC	DEPTH TO WATERTABLE	DEPTH TO BEDROCK	SOIL LIMITATIONS
CakBb	Califon loam, 0-8% slopes	C	No	6 to 30 inches	> 6.5 ft	Moderately well drained; Low available water capacity (about 3.4 in); Very high surface runoff;
RobDc	Rockaway sandy loam, 15-25% slopes	C	No	24 to 36 inches	> 6.5 ft	Well drained; Very low water capacity (about 2.0 in); Very high surface runoff;
RocC	Rockaway gravelly sandy loam, 8-15% slopes	C	No	24 to 36 inches	> 6.5 ft	Well drained; Very low water capacity (about 2.2 in); High surface runoff

*Soils information obtained from USDA-NRCS Web Soil Survey for Morris County, NJ

*Soils information obtained from USDA-NRCS Web Soil Survey for Morris County, NJ

E&S LEGEND	
EXISTING CONTOUR	
PROPOSED CONTOUR	
EXISTING SURVEY SPOT ELEVATION	
PROPOSED LIMIT OF DISTURBANCE	
SOIL BOUNDARY	
SOIL TYPE	
COMPOST FILTER SOCK	
INLET PROTECTION (FILTER BAG)	
ROCK FILTER	
SOIL STOCKPILE AREA	

LEGEND	
SITE SYMBOLS	
PROPERTY BOUNDARY	
EXISTING ULTIMATE RIGHT-OF-WAY	
BUILDING SETBACK	
EASEMENT	
EXISTING BUILDING LINE	
EXISTING CURB LINE	
EXISTING DEPRESSION CURB	
CURB LINE	
EXISTING CHAIN LINK FENCE	
PROPOSED CHAIN LINK FENCE	
EXISTING TREELINE/VEGETATIVE BUFFER	
EXISTING GUIDE RAIL	
EXISTING LIGHT	
EXISTING LIGHT POLE	
EXISTING UTILITY POLE	
UTILITY POLE	
PARKING COUNT	
EXISTING LOADING/UNLOADING AREA	
PROPOSED CONCRETE	
LIMIT OF ASPHALT TO BE REPLACED (SAWCUT LINE)	
ASPHALT TO BE REPLACED	
RIVER STONE	
STORAGE SHED	
GRADING/DRAINAGE SYMBOLS	
EXISTING CONTOUR	
PROPOSED CONTOUR	
EXISTING SURVEY SURFACE FLOW DIRECTION	
EXISTING SURVEY SPOT ELEVATION	
PROPOSED SPOT ELEVATION	
EXISTING SLOPE	
PROPOSED SLOPE	
EXISTING TOP OF WALL ELEVATION	
PROPOSED TOP OF WALL ELEVATION	
EXISTING BOTTOM OF WALL ELEVATION	
PROPOSED BOTTOM OF WALL ELEVATION	
UTILITY SYMBOLS	
EXISTING STORM SEWER	
EXISTING TRENCH DRAIN	
EXISTING STORM STRUCTURE	
EXISTING SANITARY CLEANOUT	
EXISTING GAS MARKOUT	
EXISTING GAS VALVE	
EXISTING WATER MARKOUT	
EXISTING WATER VALVE	
PROPOSED STORM SEWER	
SOIL SYMBOLS	
SOIL BOUNDARY	
SOIL TYPE	



LIMIT OF DISTURBANCE = ±0.73 AC

EXISTING PAVED DRIVEWAY TO EDEN LANE. ALL SEDIMENT WASHED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.

INLET PROTECTION (TYP.)

LIMIT OF DISTURBANCE (±0.73 AC TOTAL)

SOIL STOCKPILE AREA

55 LF 12" COMPOST FILTER SOCK

INLET PROTECTION (TYP.)

EXISTING PAVED DRIVEWAY TO EDEN LANE. ALL SEDIMENT WASHED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.

ROCK CONSTRUCTION ENTRANCE

LIMIT OF DISTURBANCE (±0.73 AC TOTAL)

110 LF 18" COMPOST FILTER SOCK

EXISTING OUTLET CONTROL STRUCTURE TO REMAIN

ROCK FILTER #1 - R-2 RIP-RAP - TO PROVIDE FILTERING OF SEDIMENT LADEN RUNOFF PRIOR TO FLOWING THROUGH THE BOTTOM ORIFICE OF THE OUTLET CONTROL STRUCTURE

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30 0 15 30
SCALE: 1 INCH = 30 FEET

5-1-23	REVISED PER MCSGD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature GREGORY ELKO
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NJ Lic. No. 24GE04139500

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Project
VEOLIA NORTH
AMERICA -
FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

Drawing Title
SOIL EROSION &
SEDIMENT
CONTROL PLAN

Project No.
003580405
Date
9-7-2022
Drawn By
MR
Checked By
LT

Drawing No.
CE-101
Sheet 14 of 19

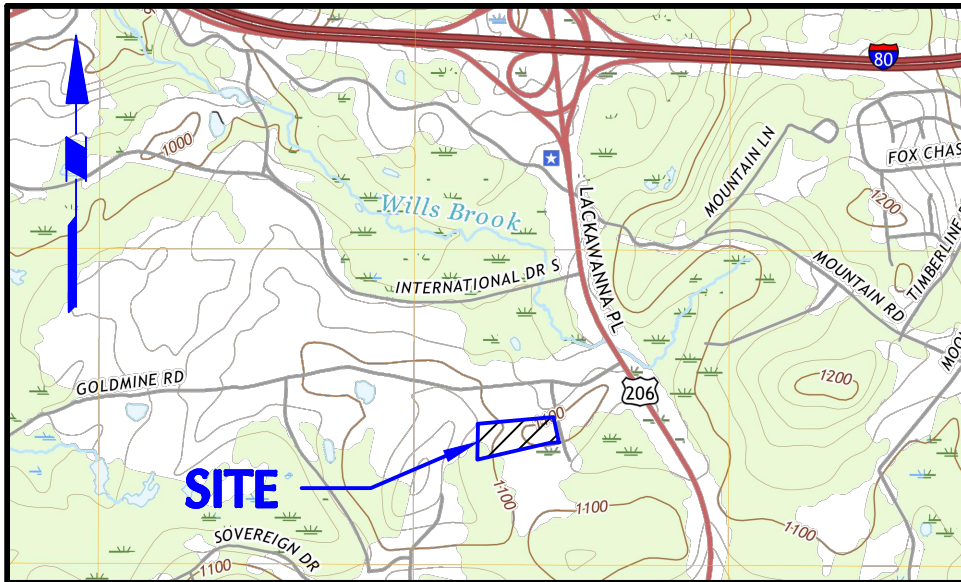
PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
ARAF	5	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3 - 3 1/2" CAL.	B+B	-
QR	5	QUERCUS RUBRA	RED OAK	3 - 3 1/2" CAL.	B+B	-
ORNAMENTAL TREE(S)						
CC	3	CERCIS CANADENSIS	EASTERN REDBUD	3 - 3 1/2" CAL.	B+B	-
EVERGREEN TREE(S)						
PGL	10	PICEA GLAUCA	WHITE SPRUCE	6-7'	B+B	-
PS	20	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT SCHEDULE, THE PLAN SHALL DICTATE.

TREE REPLACEMENT CALCULATIONS - SECTION 550-75 1.(1)(b){2}

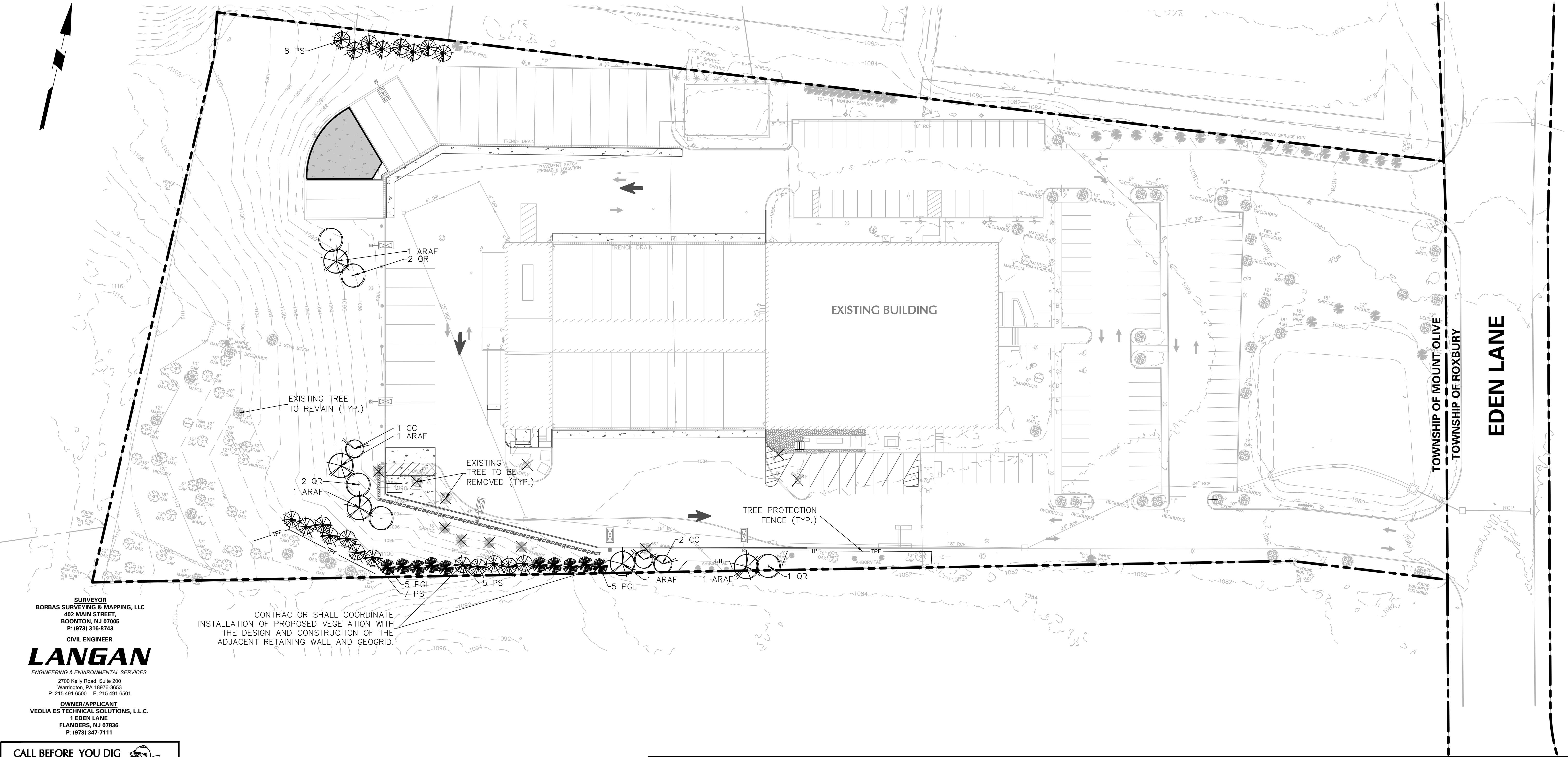
CALIPER OF EXISTING TREE TO BE REMOVED	NUMBER OF REPLACEMENT TREES (MIN. 3" CALIPER)	TOTAL NUMBER OF TREES TO BE REMOVED	NUMBER OF REPLACEMENT TREES REQUIRED, 3" CAL. MIN
BETWEEN 6" AND <10"	3	2	6
BETWEEN 11" AND <18"	4	8	32
BETWEEN 19" AND <24"	5	1	5
BETWEEN 25" AND <30"	7	0	0
BETWEEN 31" AND <35"	10	0	0
36" AND GREATER	DBH OF REMOVED TREE DIVIDED BY 3	0	0
		TOTAL	43 REPLACEMENT TREES REQUIRED



PROJECT LOCATION MAP

SCALE: 1" = 2000'

SOURCE: STANTOP USGS QUAD MAP



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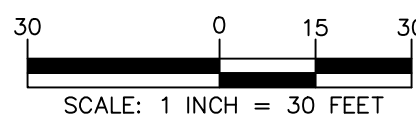
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SEE SHEET LP-501 FOR LANDSCAPE
NOTES AND DETAILS

5-1-23	REVISED PER MCSD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature MICHAEL SZURA
LANDSCAPE ARCHITECT
NJ Lic. No. 21AS00081500

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NJ Certificate of Authorization No. 24GA27996400

Project

VEOLIA NORTH
AMERICA -
FLANDERS FACILITY

MOUNT OLIVE TOWNSHIP
MORRIS COUNTY

NEW JERSEY

Drawing Title

LANDSCAPE
PLAN

Project No.

003580405

Date

9-7-2022

Drawn By

SPW

Checked By

RP

Drawing No.

LP-101

Sheet 16 of 19

GENERAL LANDSCAPE PLANTING NOTES:

PLANTING MATERIALS

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
4. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
5. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.

PLANTING SOILS

1. REUSE SURFACE SOILS STOCKPILED ON SITE. VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOIL, AND GRAVEL AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS
2. SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
3. IF DEPTH OF PLANTING SOILS AND TOPSOIL IS NOT INDICATED IN PLANS OR DETAILS, A MINIMUM 18" DEPTH SHALL BE PROVIDED FOR ALL TREES AND LARGE SHRUBS; MINIMUM 12" DEPTH SHALL BE PROVIDED FOR GROUNDCOVERS, HERBACEOUS AND MEADOW OR ORNAMENTAL GRASS AREAS AND A MINIMUM 6" LAYER SHALL BE INSTALLED IN ALL LAWN AREAS. TOPSOIL AND PLANTING SOIL DEPTH INDICATED ON PLANS AND PLANTING DETAILS AND NARRATIVE SPECIFICATIONS SHALL GOVERN DEPTH WHEN PROVIDED.
4. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
5. IF THE QUANTITY OF SOILS FROM THE SITE IS NOT ADEQUATE TO FILL PLANTING AREAS TO THE DEPTH INDICATED IN THE PLANS AND DETAILS, CONTRACTOR SHALL FURNISH PLANTING SOILS THAT ARE FREE OF BROKEN GLASS, PAINT CHIPS, PLASTIC, DELETERIOUS MATERIALS, ROOTS, WEEDS, BOULDERS, COBBLES AND GRAVEL OVER 1" IN DIAMETER AND COMPLY WITH THE FOLLOWING CRITERIA:
-SOILS SHALL MEET ALL APPLICABLE SOIL REMEDIATION STANDARDS
-ORGANIC CONTENT: 2-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
-SOLUBLE SALTS: LESS THAN 0.5 MM HOS/CM
-SOIL PH: 4.5-7% TO BE AMENDED PER SOIL TEST RESULTS
-PHYSICAL (SIEVE) ANALYSIS/ SOIL TEXTURE
SAND: 40-60% SILT: 25-60% CLAY: 5-20%
-NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE.
6. ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
7. IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WITHIN RANGE OF 6-8% ORGANIC CONTENT. 35-55% BY WEIGHT. 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL; FREE OF BROKEN GLASS, PAINT CHIPS, PLASTIC, DELETERIOUS MATERIALS, ROOTS, WEEDS, BOULDERS, COBBLES AND GRAVEL OVER 1" IN DIAMETER
8. SCARIFY AND/OR TILL ALL COMPACTED SUBSOILS PRIOR TO ADDING PLANTING SOIL OR TOPSOIL. PLANTING SOILS AND TOPSOIL SHALL BE PLACED IN 12-18" LIFTS THAT ARE LOOSELY COMPACTED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.

DELIVERY, STORAGE, AND HANDLING

1. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETEIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
2. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP OR BREAK BALLED STOCK DURING DELIVERY OR HANDLING.
3. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT BALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8" INTO THE PLANTING HOLE. WITH CONTAINER-GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
4. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

INSTALLATION

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
2. THE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
4. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
6. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
7. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
8. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
9. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY OWNER AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
10. AFTER COMPLETION OF A PROJECT, ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A SHREDDED HARDWOOD BARK OR APPROVED EQUAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
11. CONTRACTOR SHALL SUPPLY SUPPLEMENTARY IRRIGATION UNTIL ACCEPTANCE BY OWNER.
12. CONTRACTOR SHALL ASSESS THE NEED FOR DEER PROTECTION ON SITE. IF DEEMED NECESSARY, SHADE AND ORNAMENTAL TREES SHALL BE PROTECTED THROUGH WINTER WITH SPIRAL WRAP TREE GUARDS, OR APPROVED EQUAL. PROTECTION LENGTH TO BE FROM BELOW THE LOWEST BRANCH AND DOWN TO WITHIN A FEW INCHES OF THE GROUND. THE GUARDS CAN BE REMOVED IN SPRING AND SAVED FOR RE-INSTALLATION DURING THE FOLLOWING WINTERS AS PART OF A MAINTENANCE PROGRAM.

GUARANTEE

1. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

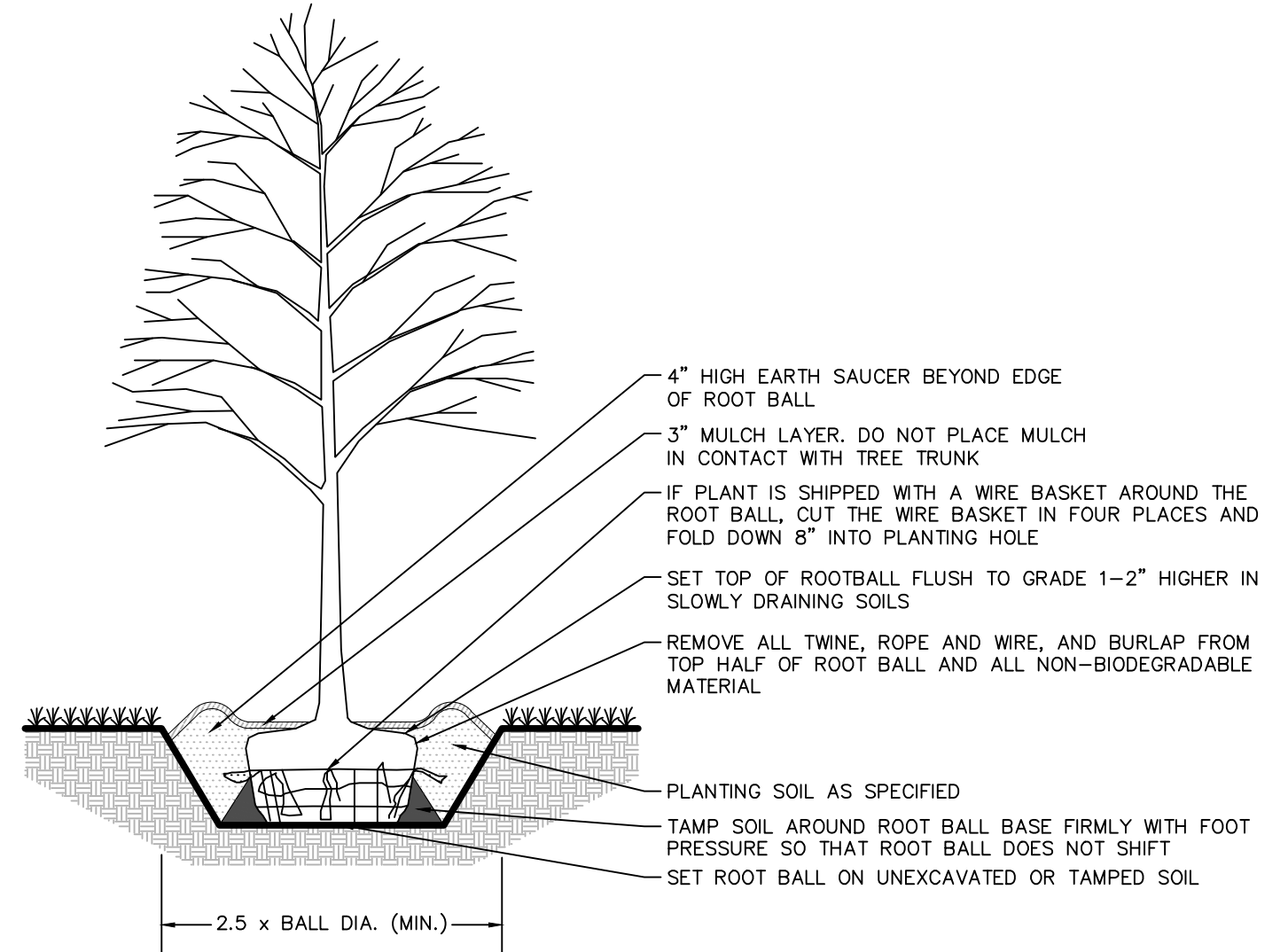
SEE SHEET LP-101 FOR LANDSCAPE PLAN, PLANT SCHEDULE AND TREE REPLACEMENT CALCULATIONS.

LAWN SEED NOTES:

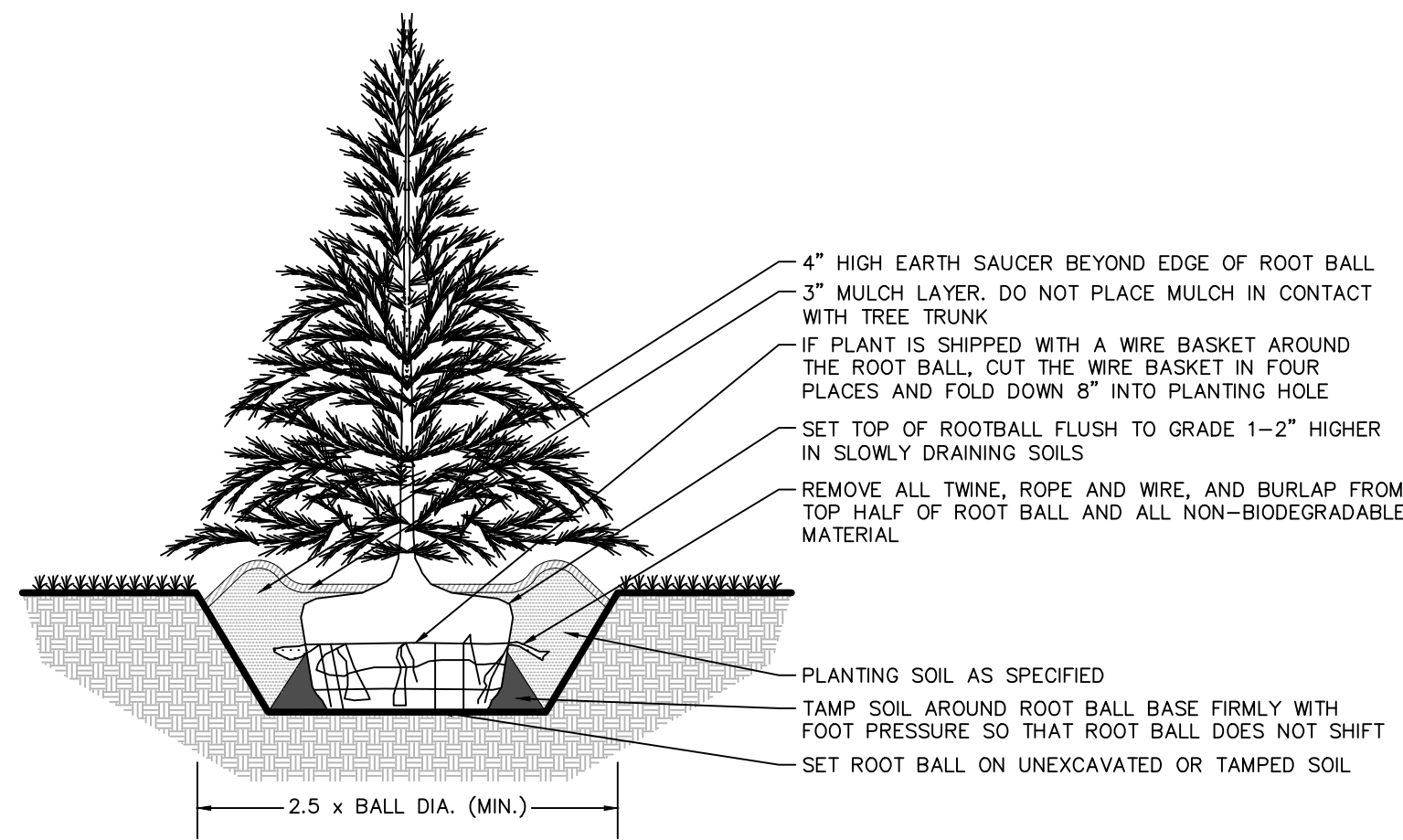
1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. THE FOLLOWING SEED MIX SHALL BE SOWN AT THE RATES AS DEPICTED:
- | | |
|--------------------|---------------------|
| RED FESCUE | 1 1/2 LBS./1,000 SF |
| PERENNIAL RYEGRASS | 1 LBS./1,000 SF |
| KENTUCKY BLUEGRASS | 1 1/2 LBS./1,000 SF |
| SPREADING FESCUE | 1 LBS./1,000 SF |
3. SEED MIX SHALL BE MULCHED WITH SALT HAY OR UNROTTED SMALL GRAIN STRAW AT A RATE OF 2 TONS/AC OR 90 LBS./1,000 SF
4. SEEDING DATES FOR THIS MIXTURE SHALL BE AS FOLLOWS:
- SPRING: APRIL 1 - MAY 31
FALL: AUGUST 16 - OCTOBER 31
5. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

TREE PROTECTION NOTES:

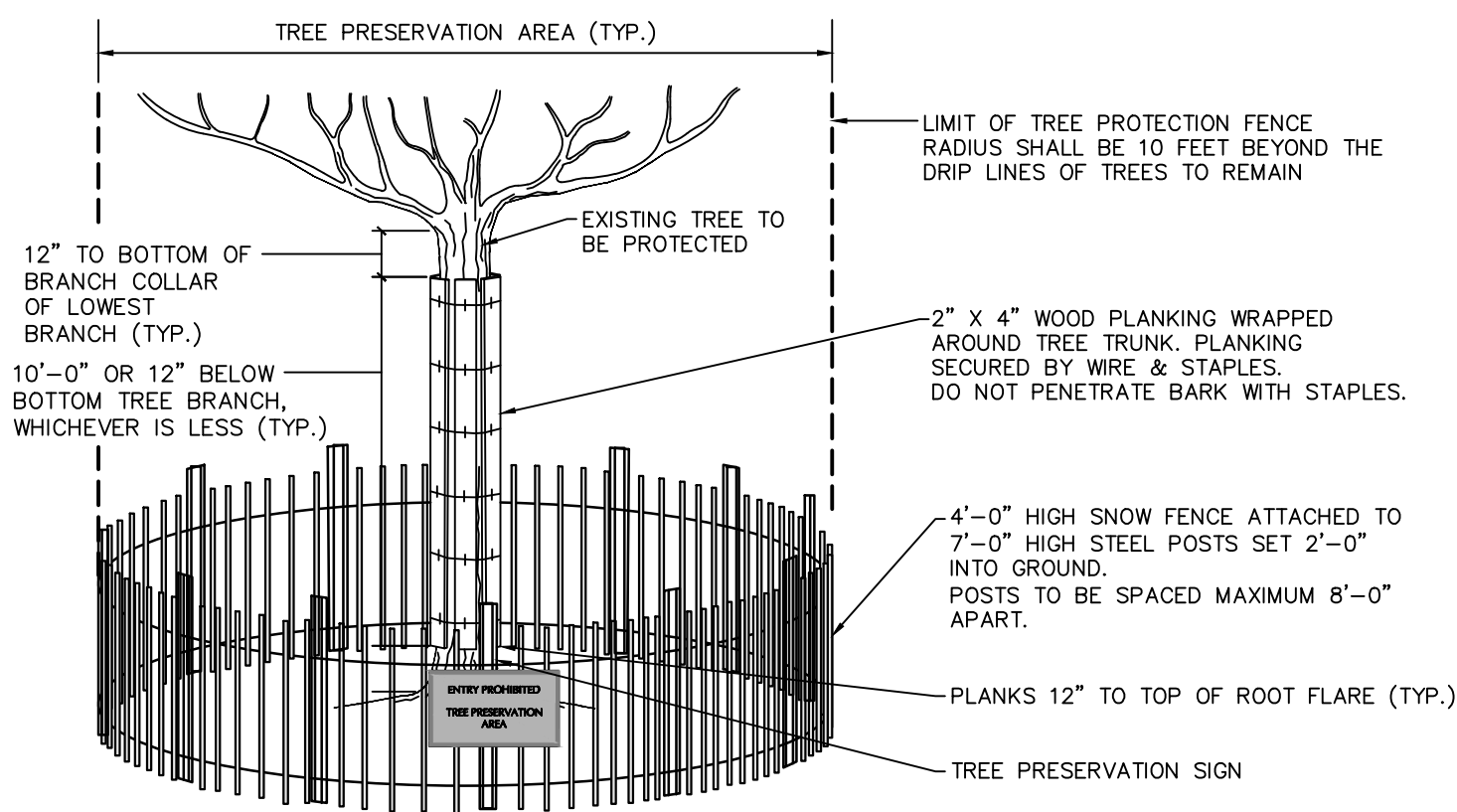
1. ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE RADIUS SHALL BE 18 TIMES THE MEASURED DIAMETER-AT-BREAST-HEIGHT (DBH), UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
2. TREE PROTECTION PLANKING SHALL BE INSTALLED ON ALL EXISTING TREES WHERE WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO DETAIL ON THIS SHEET.
3. IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
4. TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE IMMEDIATELY REPLACED WHEN DAMAGED.
5. DEMOLITION WORK WITHIN THE TREE PROTECTION FENCE OF PROTECTED TREES SHALL BE PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE DISTURBED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS. ROOTS SHALL NOT BE OTHERWISE DAMAGED, BROKEN OR RIPPED. ANY ROOTS FOUND GREATER THAN 2 INCHES DIAMETER WITHIN THE AREA TO BE DISTURBED WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT FOR FURTHER CONSIDERATION PRIOR TO ROOT PRUNING. ROOT PRUNED TREES SHALL BE MAINTAINED BY WATERING, WEEDING, MOWING, SPRAYING, FERTILIZING, AND OTHER HORTICULTURE PRACTICES THROUGHOUT THE DURATION OF CONSTRUCTION. IMMEDIATELY AFTER ROOT PRUNING, BACKFILL WITH GOOD ROOTING MEDIUM AND FERTILIZE WITH ORGANIC FERTILIZER TO PROMOTE ROOT GROWTH. PER MANUFACTURER'S RECOMMENDATIONS, FEED WITH A DILUTED SOLUTION OF N-P-K, AND MYCORRHIZAL POWDER AS NEEDED, WITH A SOIL NEEDLE TO PROVIDE WATER, AIR AND NUTRIENTS. THE SOIL AROUND EACH TREE SHALL BE THOROUGHLY SATURATED WITH WATER AND SHALL BE THOROUGHLY WATERED AS SEASONABLE CONDITIONS REQUIRE THROUGHOUT THE ENTIRE BOND PERIOD.
6. ALL TEMPORARILY EXPOSED TREE ROOTS SHALL BE COVERED WITH 2 INCHES OF SHREDDED HARDWOOD MULCH TO REDUCE WEEDS, DISCOURAGE FOOT TRAFFIC, CONSERVE MOISTURE, AND MINIMIZE TEMPERATURE FLUCTUATION UNTIL PERMANENT SOIL EROSION CONTROL IS IMPLEMENTED. EXPOSED TREE ROOTS SHALL BE THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
7. ANY TREE SHOWN TO BE PROTECTED WHICH IS OBSERVED TO HAVE 25% OR MORE OF ITS BRANCHING OR LEAVES DEAD OR DYING WITHIN THREE YEARS OF COMPLETED CONSTRUCTION, AND WHICH CANNOT BE REASONABLY PRUNED TO MAINTAIN THE HABIT KNOWN FOR THE SPECIES, SHALL BE REPLACED WITH A QUANTITY OF TREES OF THE SAME SPECIES AND AT A SIZE THAT, WHEN PUT TOGETHER, EQUALS THE TOTAL CANOPY SIZE OF THE TREE TO BE REPLACED.
8. CHANGES OF GRADE PROPOSED (CUT/FILL) WITHIN TREE PROTECTION FENCING SHALL BE PERFORMED AS FOLLOWS:
- A. RAISING GRADES:
1. WHERE FILL NOT EXCEEDING 16 INCHES IS REQUIRED, CLEAN, WASHED GRAVEL GRADED FROM 1 INCH TO 2 INCHES IN SIZE SHALL BE PLACED DIRECTLY AROUND TREE TRUNK. EXTEND GRAVEL OUT FROM TRUNK ON ALL SIDES MINIMUM OF 18 INCHES AND FINISH APPROXIMATELY 2 INCHES ABOVE FINISHED GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH TRUNKS OF TREES REQUIRING FILL.
2. WHERE FILL EXCEEDING 16 INCHES IS REQUIRED, CONSTRUCT DRY-LAID TREE WELL AROUND TRUNK OF TREE. TREE WELL SHALL EXTEND OUT FROM TRUNK ON ALL SIDES MINIMUM OF 3 FEET AND TO 3 INCHES ABOVE FINISH GRADE. PLACE COARSE-GRADED ROCK DIRECTLY AROUND TREE WELL EXTENDING OUT TO DRIP LINE OF TREE. PLACE CLEAN, WASHED GRAVEL GRADED FROM 1 INCH TO 2 INCHES IN SIZE DIRECTLY OVER COARSE ROCK TO DEPTH OF 3 INCHES. PLACE APPROVED BACKFILL MATERIAL DIRECTLY OVER WASHED GRAVEL TO DESIRED FINISH GRADE.
- B. LOWERING GRADES: EXISTING TREES IN AREAS WHERE NEW FINISH GRADE IS TO BE LOWERED SHALL HAVE REGRADEING WORK DONE BY HAND TO ELEVATION INDICATED ON THE DRAWINGS. ROOTS AS REQUIRED SHALL BE CUT AND MAINTAINED PER THE NOTES ABOVE IN #2.
- C. TREES MARKED FOR PRESERVATION THAT ARE MORE THAN 6 INCHES ABOVE PROPOSED GRADES SHALL STAND ON BROAD ROUNDED MOUNDS AND GRADED SMOOTHLY INTO LOWER LEVEL. TREES LOCATED MORE THAN 16 INCHES ABOVE PROPOSED GRADES SHALL HAVE DRY-LAID STONE WALL OR OTHER RETAINING STRUCTURE AS DETAILED ON THE DRAWINGS CONSTRUCTED MINIMUM OF 5 FEET FROM TRUNK. EXPOSED OR BROKEN ROOTS SHALL BE CUT CLEAN AND COVERED WITH TOPSOIL.
9. ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S REPRESENTATIVE, CERTIFIED ARBORIST, OR THE PROJECT LANDSCAPE ARCHITECT.



2 DECIDUOUS TREE DETAIL
NTS



3 EVERGREEN TREE DETAIL
NTS



1 TREE PROTECTION FENCE DETAIL
NTS

5-1-23	REVISED PER MCSD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature _____ Date _____
MICHAEL SZURA
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Project
VEOLIA NORTH AMERICA - FLANDERS FACILITY
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY NEW JERSEY

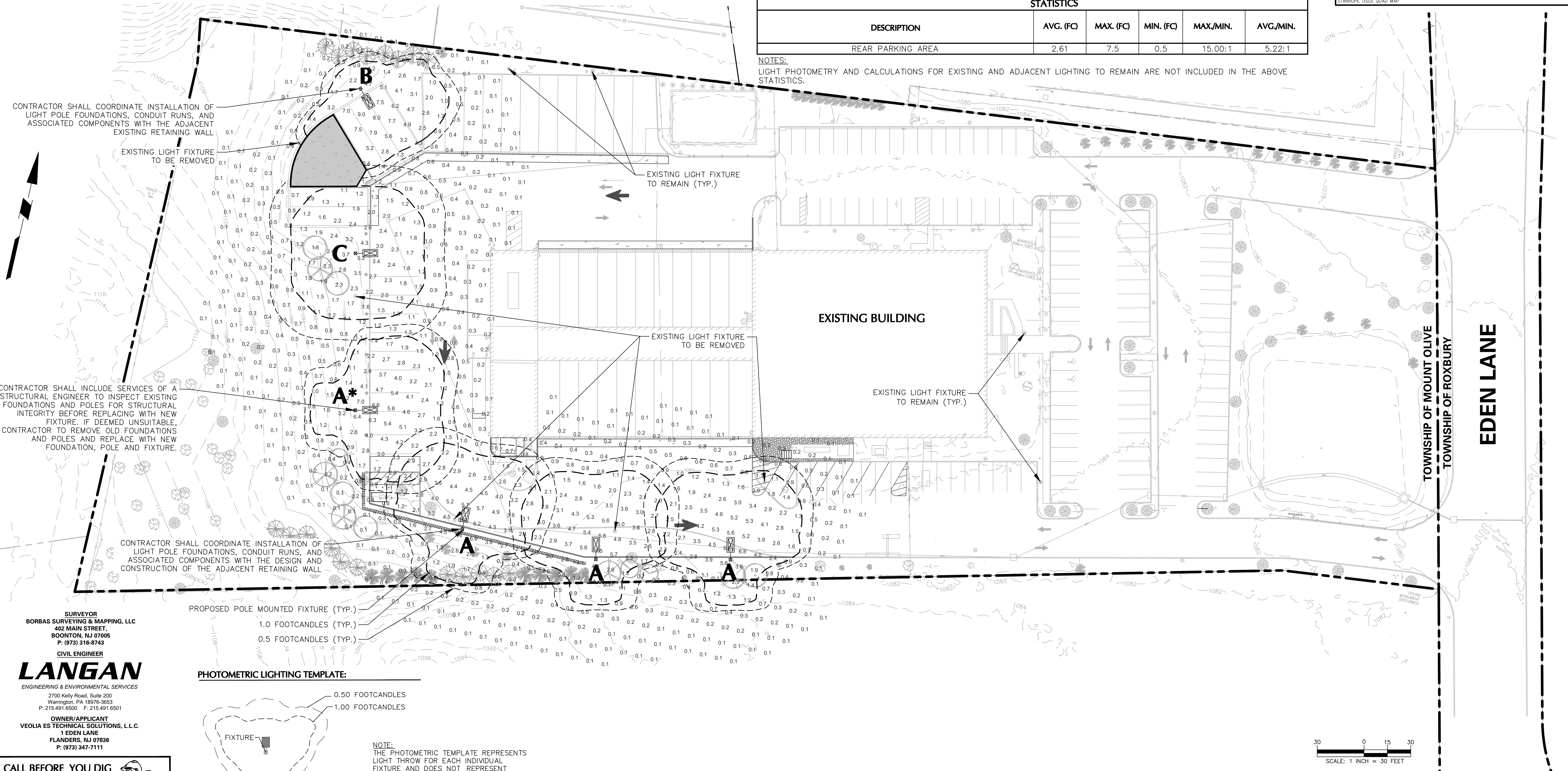
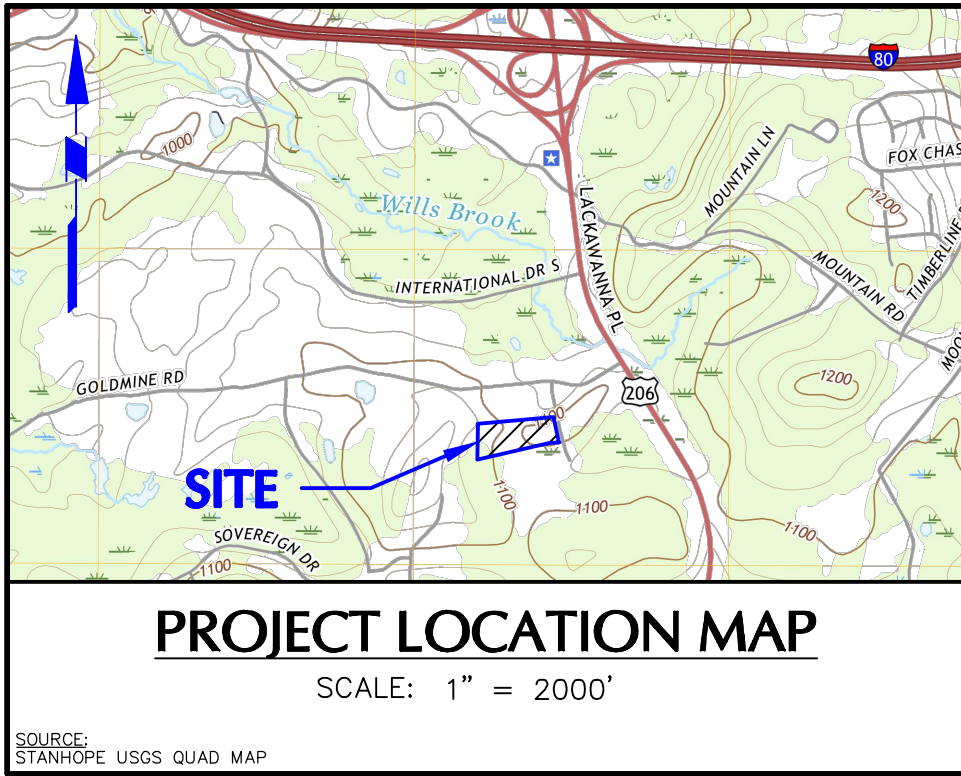
Drawing Title
LANDSCAPE NOTES AND DETAILS

Project No.
003580405
Date
9-7-2022
Drawn By
SW
Checked By
RP

Drawing No.
LP-501
Sheet **17** of **19**

SITE LIGHTING SCHEDULE																
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	WATTS	LUMENS	LIGHT LOSS FACTOR	OPTICS	COLOR TEMPERATURE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
	A	3	LITHONIA	DSX2	POLE MOUNTED AREA LIGHT	18'-0"	185	22,236	0.90	TYPE FORWARD THROW	3000 K	DSX2-LED-P2-30K-TFTM-MVOLT-SPA-DDBXD	LITHONIA	SQUARE STRAIGHT ALUMINUM POLE	18'-0"	SSA-18-5G-DM19AS-DDBXD
	A*	1	LITHONIA	DSX2	POLE MOUNTED AREA LIGHT	18'-0"	185	22,236	0.90	TYPE FORWARD THROW	3000 K	DSX2-LED-P2-30K-TFTM-MVOLT-SPA-DDBXD	LITHONIA	SQUARE STRAIGHT ALUMINUM POLE	18'-0"	SSA-18-5G-DM19AS-DDBXD
	B	1	LITHONIA	DSX2	POLE MOUNTED AREA LIGHT	18'-0"	270	24,199	0.90	TYPE FORWARD THROW WITH HOUSE-SIDE SHIELD	3000 K	DSX2-LED-P4-30K-TFTM-HS-MVOLT-SPA-DDBXD	LITHONIA	SQUARE STRAIGHT ALUMINUM POLE	18'-0"	SSA-18-5G-DM19AS-DDBXD
	C	1	LITHONIA	DSX2	POLE MOUNTED AREA LIGHT	18'-0"	185	23,026	0.90	TYPE V	3000 K	DSX2-LED-P2-30K-T5W-MVOLT-SPA-DDBXD	LITHONIA	SQUARE STRAIGHT ALUMINUM POLE	18'-0"	SSA-18-5G-DM19AS-DDBXD

NOTES:
* STRUCTURAL ENGINEER TO INSPECT EXISTING FOUNDATIONS AND POLES FOR STRUCTURAL INTEGRITY BEFORE REPLACING WITH NEW FIXTURE. IF DEEMED UNSUITABLE, CONTRACTOR TO REMOVE OLD FOUNDATIONS AND POLES AND REPLACE WITH NEW FOUNDATION, POLE AND FIXTURE.
1. POLES SHALL BE FACTORY CUT TO SPECIFIED LENGTH BY MANUFACTURER.
2. CONTRACTOR TO CONFIRM AND COORDINATE FINAL LINE VOLTAGE WITH MEP PLANS PRIOR TO PURCHASING FIXTURES.



GENERAL

- ## COMPLIANCE

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
6. REFER TO ELECTRIFICATION PLAN, PREPARED BY MEP ENGINEER, FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
13. ALL POLES HIGHER THAN 25 FT. SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

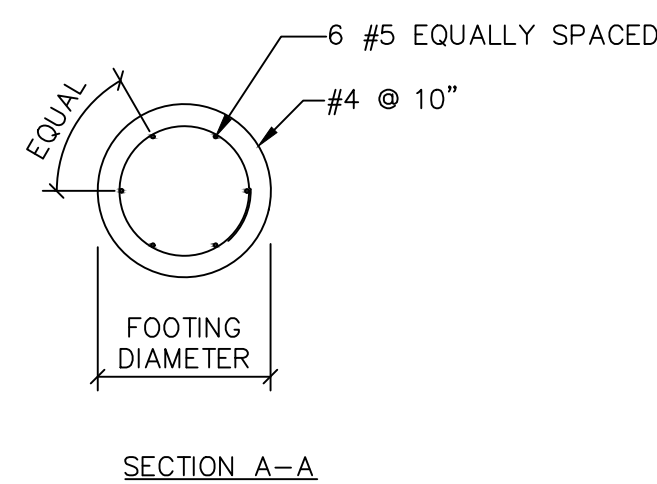
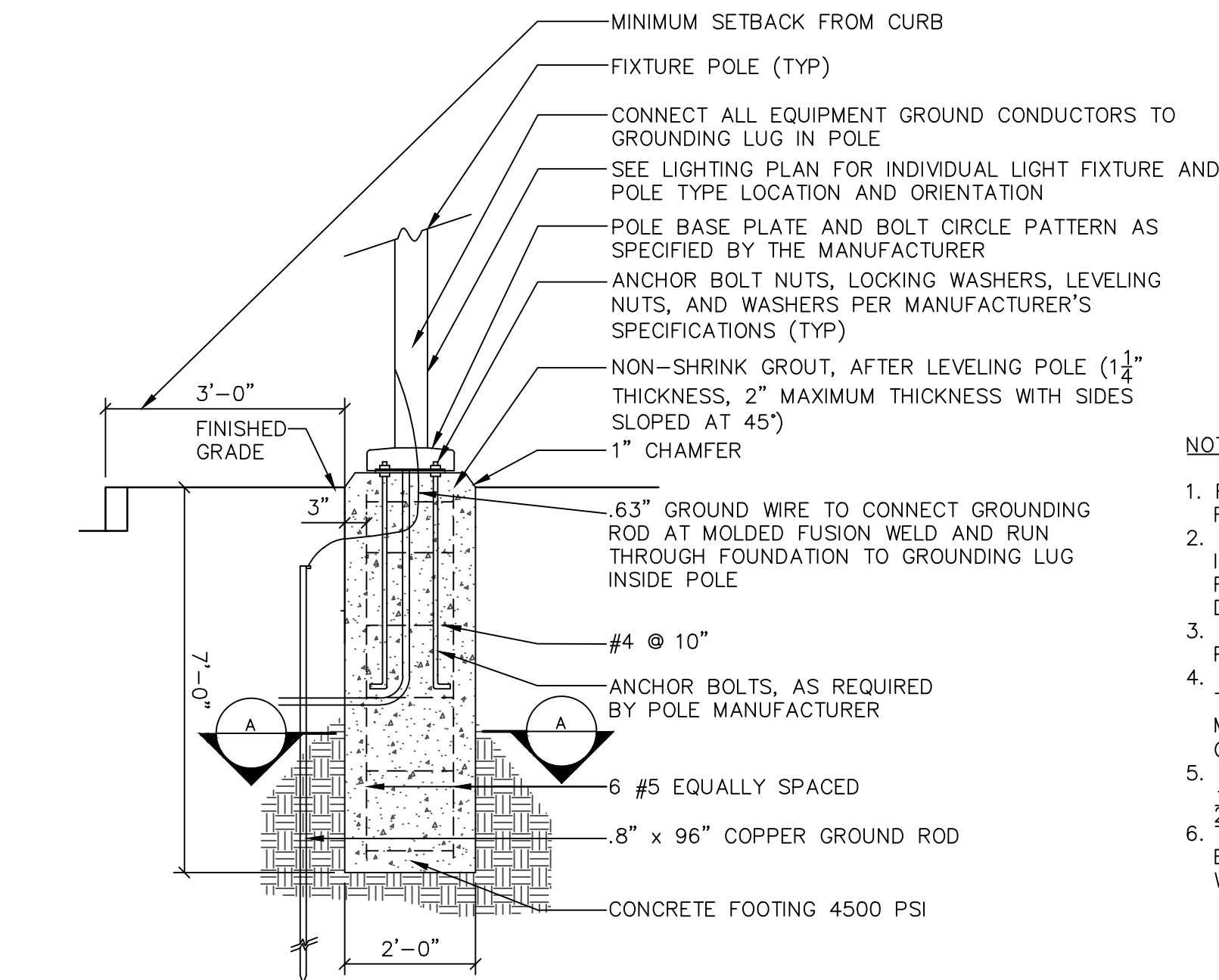
14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

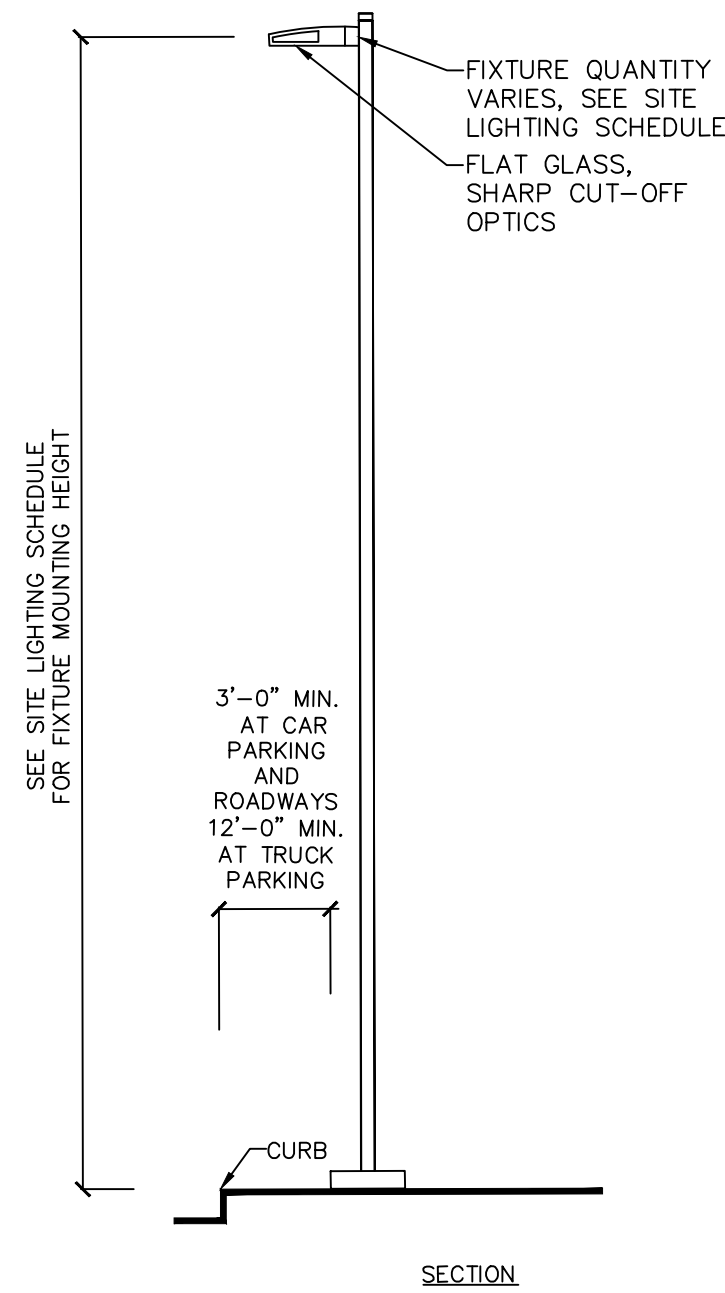
REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
- A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR
 - B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.
 - C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM, AND UNIFORMITY RATIOS, SUMMARY, ISOLUX LIST, AND CATALOGUE CUTS, CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
 - D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
 - F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

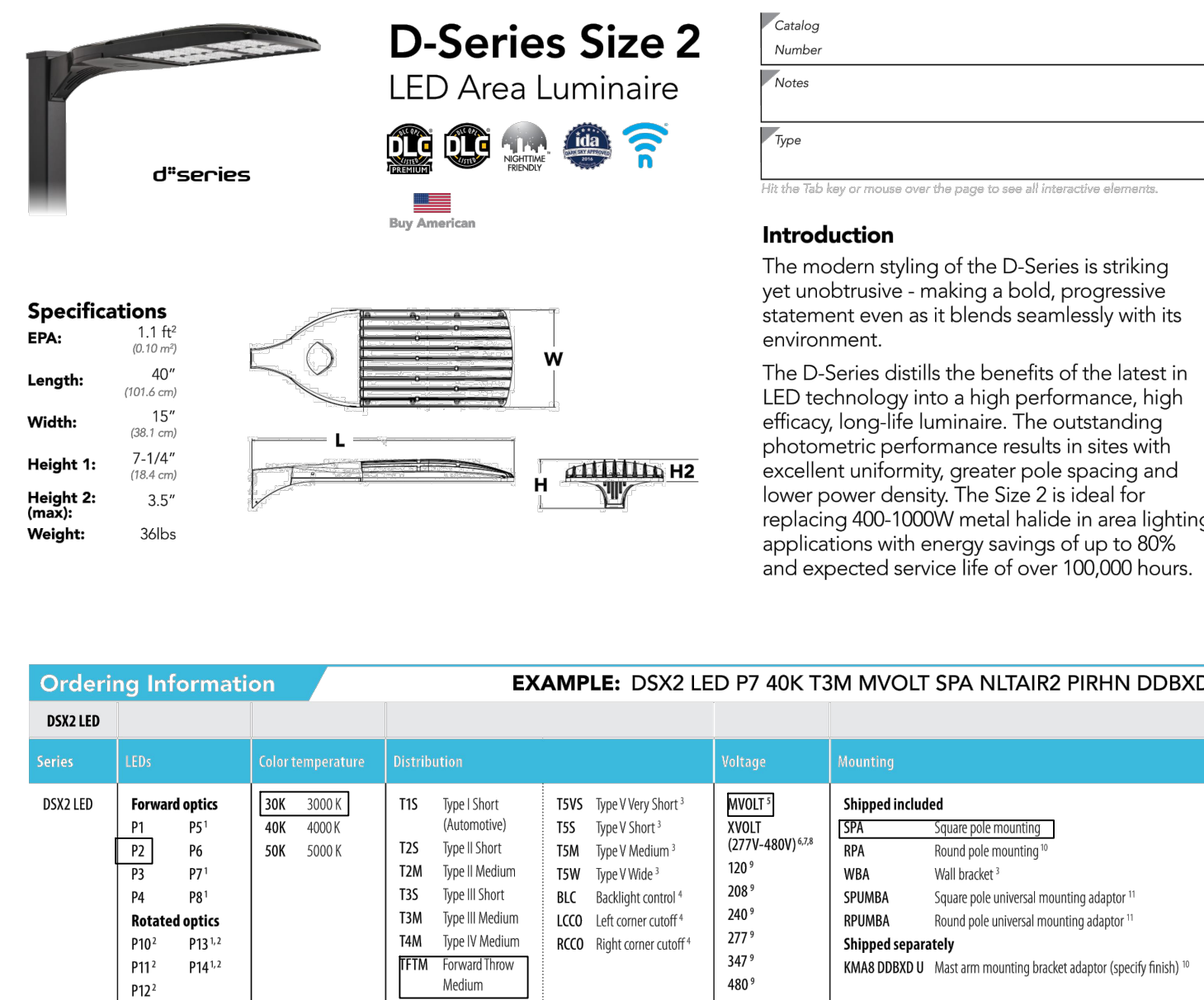



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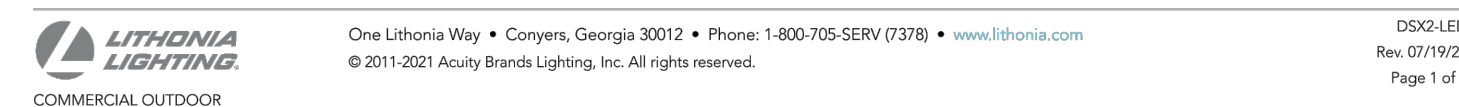
1. REFER TO SITE LIGHTING PLANS AND SITE LIGHTING SCHEDULE FOR SPECIFIC FOUNDATION LOCATIONS.
2. VERTICAL AND HORIZONTAL BARS SHALL BE FIELD TIED. WELDING IS NOT PERMITTED. THE CONTRACTOR SHALL SUPPORT REINFORCEMENT IN ITS PROPER LOCATION FROM THE FORMWORK DURING CONCRETE OPERATION.
3. THE CONTRACTOR SHALL REMOVE WATER PRESENT IN HOLE PRIOR TO POURING CONCRETE.
4. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO THE POLE AND FIXTURE INSTALLATION WITH THE MANUFACTURER, THE ENGINEER AND/OR OWNER TO BE NOTIFIED OF ANY DISCREPANCIES.
5. INSTALLATION OF POLE FOOTING IN CONCRETE PAVING REQUIRES 1/2" EXPANSION JOINT FILLER SEALED WITH JOINT SEALANT.
6. THE CONTRACTOR SHALL PROVIDE SIGNED AND SEALED ENGINEERING DRAWINGS FOR THE FOOTING AND ALL STRUCTURAL WORK.



1 FOUNDATION DETAIL



Control options		Other options		Finish 	
Shipped installed					
NIMR2	4-light 48" generation 2 enabled ¹¹	PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 26' ¹²	Shipped installed	DRBRD Dark bronze
PIRH	Network, 8-16' motion/ambient sensor ¹¹	PIRHC15C	5-15' single beam (120", 240", 360")	DRD Black	DRALU Natural aluminum
NIMA	NEMA head receptacle only (no controls) ¹¹	FAO	High/Low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16' ¹²	DRF Double face (28, 248, 488") ¹³	DRW White
PER5	Five-wire receptacle only (no controls) ¹¹		L90 Left rotated optics ¹	DRBKD Textured dark bronze	DRBLK Textured black
PER7	Seven-wire receptacle only (no controls) ^{11,14}		R90 Right rotated optics ¹	DRBLK Textured black	DRWHT Textured white
DMG	0-100 dimming enabled out back of housing for external control (no controls) ^{11,15}		HA 50° beam operations ¹		
DS	Dual switching ^{16,17}		BAA Bay American/AC Compliant	Shipped separately	
			B5 Bird optics ¹		
			E6S External glass shield		



2 POLE MOUNTED LIGHT FIXTURE
NTS

5-1-23	REVISED PER MCSCD AND TOWNSHIP COMMENTS	1.
Date	Description	No.
Revisions		

Signature MICHAEL SZURA
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NJ Certificate of Authorization No. 24GA27996400

Project

VEOLIA NORTH
AMERICA -
FLANDERS FACILITY

MOUNT OLIVE TOWNSHIP
MORRIS COUNTY

NEW JERSEY

Drawing Title

LIGHTING NOTES AND DETAILS

Drawing No.

LL-501

Sheet 19 of 19

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