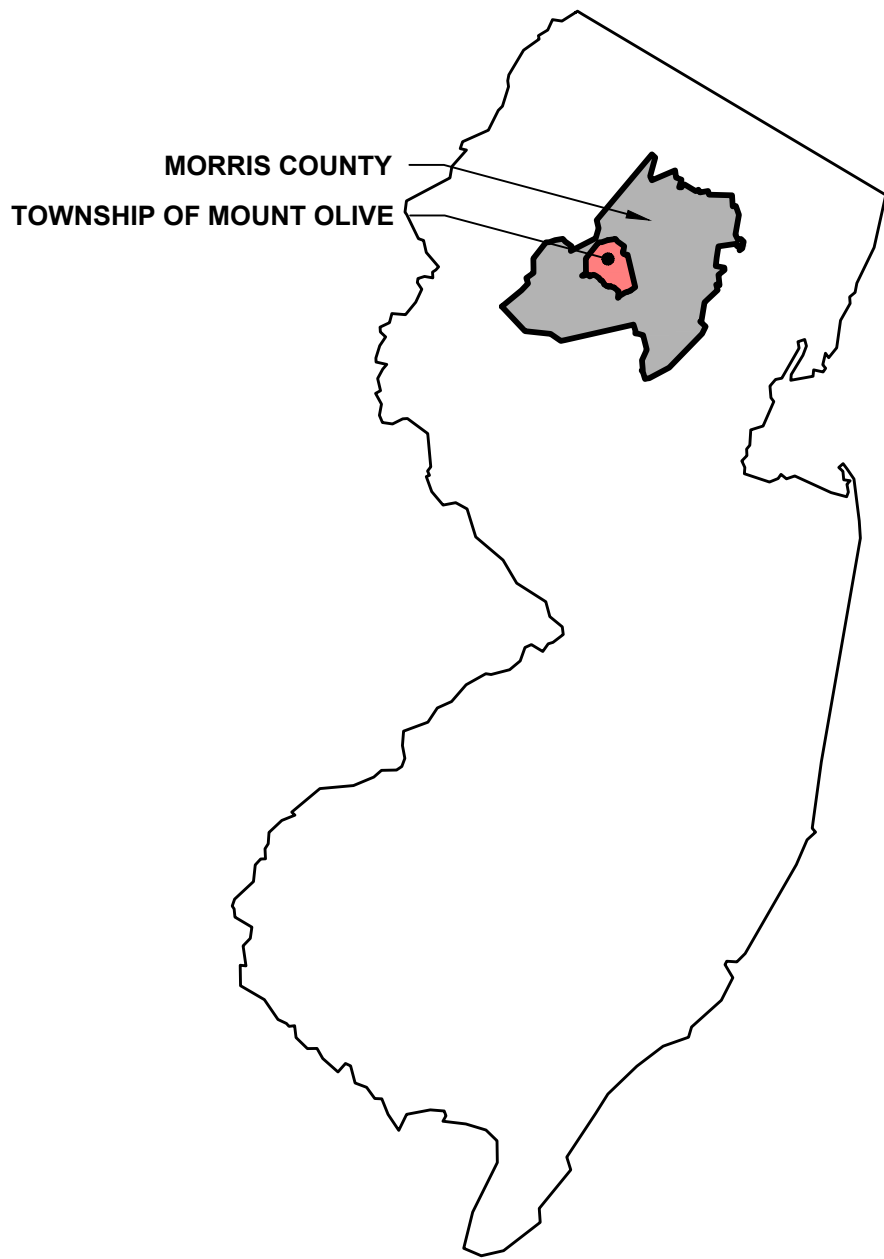


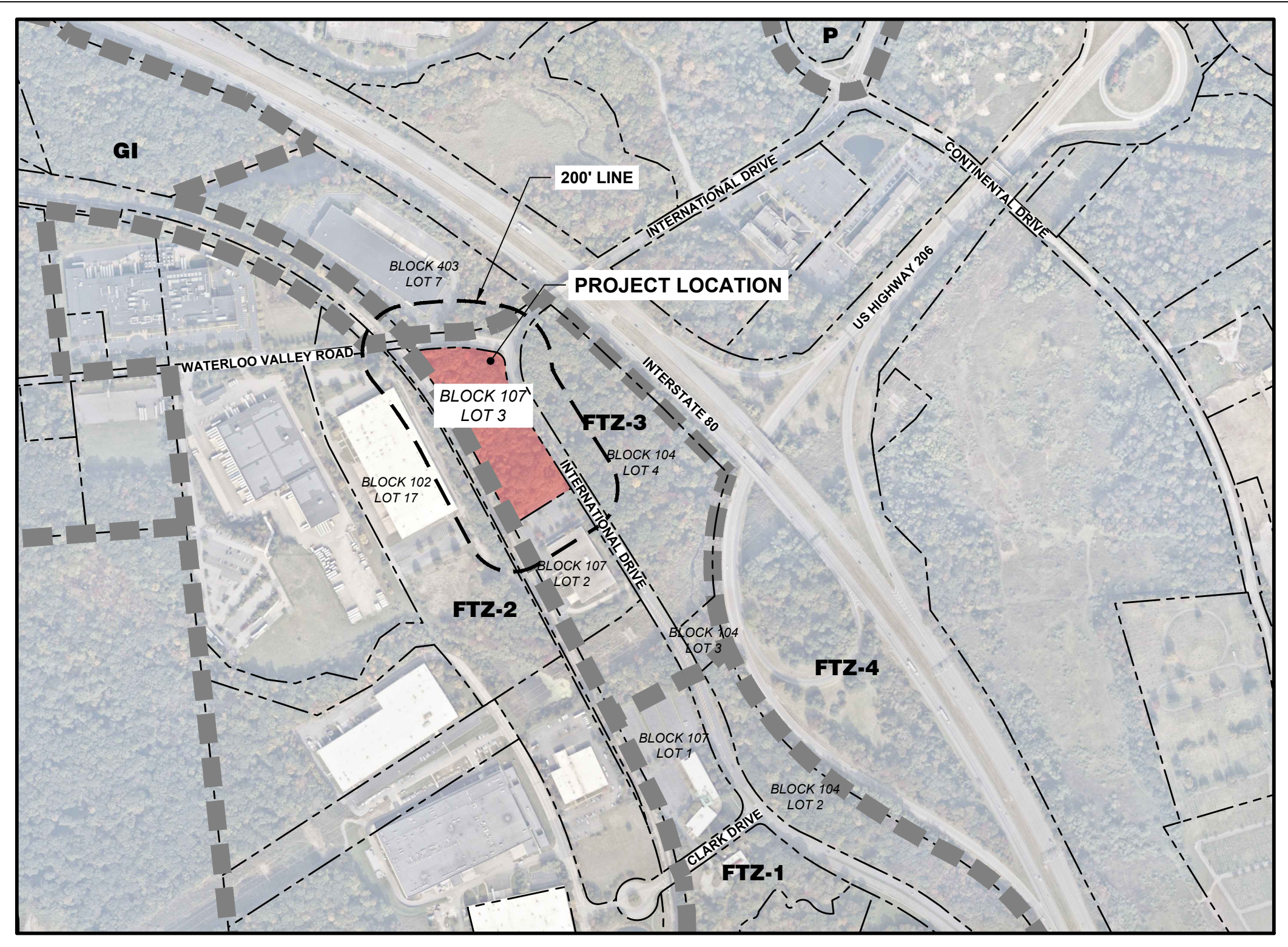
AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN  
650 INTERNATIONAL DRIVE  
BLOCK 107, LOT 3  
TOWNSHIP OF MOUNT OLIVE  
COUNTY OF MORRIS, STATE OF NEW JERSEY



STATE OF NEW JERSEY

INDEX OF DRAWINGS

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| 3     | EXISTING CONDITIONS PLAN (PRIOR TO CONSTRUCTION)       | -    |
| 4     | APPROVED SITE LAYOUT PLAN (PER PLANS DATED 03-22-2023) | -    |
| 5     | AMENDED SITE LAYOUT PLAN                               | -    |
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| 7     | CONSTRUCTION DETAILS I                                 | -    |
| 8     | CONSTRUCTION DETAILS II                                | -    |



- REFERENCES:
- TAX MAP - LOT 3, BLOCK 107, ON THE CURRENT TAX MAP OF THE TOWNSHIP OF MOUNT OLIVE SHEET #1.03.
  - ORTHOGRAPHY - NJ OFFICE OF INFORMATION TECHNOLOGY (NJ.OIT), OFFICE OF GEOGRAPHIC INFORMATION SYSTEMS (OGIS), AND U.S. GEOLOGICAL SURVEY, 20160224, NEW JERSEY 2015 HIGH RESOLUTION ORTHOPHOTOGRAPHY, NAD83(2011) NJ STATE PLANE FEET, M/SID TILES: NJ.OIT, OGIS, PO BOX 212, TRENTON, NJ, 08625-0212, US.
  - AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>
  - ZONING MAP - TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY "ZONING MAP" DATED 2016, LAST REVISED JUNE 23, 2017 BY VAN CLEEF ENGINEERING ASSOCIATES.

KEY AND ZONING MAP



SCALE: 1"=500'

TOWNSHIP OF MOUNT OLIVE ZONING DISTRICTS

FTZ-1 FOREIGN TRADE ZONE 1  
FTZ-2 FOREIGN TRADE ZONE 2  
FTZ-3 FOREIGN TRADE ZONE 3  
FTZ-4 FOREIGN TRADE ZONE 4  
P PUBLIC / CONSERVATION  
GI GENERAL INDUSTRIAL

LEGEND

--- LOT BOUNDARY  
--- 200' RADIUS AROUND SITE  
--- ZONE BOUNDARY

PROJECT DIRECTORY

OWNER / APPLICANT  
FRATELLI BERETTA U.S.A. INC.  
750 CLARK DRIVE  
MOUNT OLIVE, NJ 07828

OWNER / APPLICANT SIGNATURE

SITE ENGINEERING  
SUBURBAN CONSULTING ENGINEERS  
96 U.S. HIGHWAY 206, SUITE 101  
FLANDERS, NJ 07836  
973-398-1776

PLANNING BOARD SECRETARY DATE

PLANNING BOARD CHAIRPERSON DATE

PLANNING BOARD ENGINEER DATE

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN  
650 INTERNATIONAL DRIVE  
BLOCK 107, LOT 3  
TOWNSHIP OF MOUNT OLIVE  
COUNTY OF MORRIS, STATE OF NEW JERSEY

COVER SHEET

NOTE:  
PRIOR TO ANY EXCAVATION, CONTRACTOR MUST HAVE ALL UTILITIES MARKED  
OUT BY THE APPROPRIATE UTILITY COMPANIES -> 1-800-272-1000 OR 811.



CALL BEFORE YOU DIG - 811

ERIN B. ABLINE, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE05524500

DATE: 11/03/2023

DAREN J. PHIL, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03619100

DATE: 11/03/2023

| DESCRIPTION | NO. | DATE: | BY: | CHK: |
|-------------|-----|-------|-----|------|
| REVISIONS   |     |       |     |      |



SUBURBAN CONSULTING  
ENGINEERS, INC.

COA NO.: 24GA2803750  
24M0000480

- Civil Engineers - Municipal Engineers -

- Landscape Architects -

- Planners - Environmentalists - Land Surveyors -

96 US Highway 206, Suite 101  
Flanders, NJ 07836 - 973.398.1776

2430 Highway 34, Bldg. A Suite 1R  
Wall, NJ 08736 - 732.282.1776

505 Main Street, Suite 314  
Hackensack, NJ 07601 - 201.646.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PROJECT NUMBER: SCE-12449.011 SHEET 1 OF 8 REVISION -



LEGEND

| EXISTING | PROPOSED |                                |
|----------|----------|--------------------------------|
| W        | W        | WATER MAIN (SIZES)             |
| G        | G        | GAS MAIN (SIZES)               |
| T U/G    | T        | UNDERGROUND TELEPHONE LINE     |
| T O/H    | T O/H    | OVERHEAD TELEPHONE WIRE        |
| E        | E        | UNDERGROUND ELECTRICAL CONDUIT |
| O/H E    | O/H E    | OVERHEAD ELECTRICAL LINE       |
| S        | S        | SANITARY SEWERS                |
| FMS      | FMS      | FORCE MAINS                    |
|          |          | PAVEMENT                       |
|          |          | PROPERTY LINES                 |
|          |          | CURB LINES                     |
|          |          | FENCES (MTL.)                  |
|          |          | GUIDE RAIL (STL.)              |
|          |          | RETAINING WALL                 |

| EXIST.   | RESET | RECONSTRUCT                                 | PROP. |  |
|--|-------|---|-------|--|
|  |       |   |       | "A" INLETS                                   |
|  |       |   |       | "B" INLETS                                   |
|  |       |   |       | "E" INLETS                                   |
|  |       |   |       | MANHOLES                                     |
| NEW MANHOLE CASTING - SQUARE FRAME, CIRCULAR COVER |       | CAST IRON EXTENSION FRAME FOR EXIST. INLETS |       | CAST IRON EXTENSION RING FOR EXIST. MANHOLES |

| EXIST. | PROPOSED |                  |
|--------|----------|------------------|
|        |          | MONUMENTS        |
|        |          | IRON PIPE/PIN    |
|        |          | SOIL BORING      |
|        |          | TEST PIT         |
|        |          | WATER VALVE      |
|        |          | GAS VALVE        |
|        |          | HYDRANT          |
|        |          | UTILITY POLES    |
|        |          | SIGNS            |
|        |          | BUSHES/TREELINE  |
|        |          | LIGHTS           |
|        |          | PROP. BLDG.      |
|        |          | DECIDUOUS TREES  |
|        |          | CONIFEROUS TREES |

CERTIFIED PROPERTY OWNERS LIST WITHIN 200 FT.  
MUNICIPAL CERTIFIED LIST AS OF MARCH 17, 2022

MOUNT OLIVE TOWNSHIP  
PO BOX 450  
BUDD LAKE NJ 07828

PROPERTY OWNERS 200 FT LIST  
N.J.S.A. 40:55d-12

List requested by: Suburban Consulting

Owner of Record:

Application No:

Date: March 17, 2022

Subject Property: Block 107, Lot 3

I do hereby certify that the attached property list of 8 parcels is complete to the best of my knowledge and belief and has been prepared from the most recent tax rolls.

NOTE TO APPLICANT: N.J.S.A.40:55D-12 many require service of notice of hearing on other interested parties in addition to property owners within 200 feet of the subject property. Also, notify the list of Utilities provided.

Jack Marchione, Tax Assessor  
Division of Assessments  
973-691-0900 ext. 7226

| OWNER & ADDRESS REPORT |     |      |     |   |                          |            |  |  |  |
|------------------------|-----|------|-----|---|--------------------------|------------|--|--|--|
| MT OLIVE TOWNSHIP      |     |      |     |   |                          |            |  |  |  |
| BLOCK 107, 3           |     |      |     |   |                          |            |  |  |  |
| 03/17/22 Page 1 of 1   |     |      |     |   |                          |            |  |  |  |
| BLOCK                  | LOT | QUAL | CLA | PROPERTY OWNER  | PROPERTY LOCATION        | Add'l Lots |  |  |  |
| 102                    | 17  |      | 48  | 816 BOX PROPERTY OWNER E LLOXETER 101 W ELM ST, SUITE 600 CONSHOHOCKEN, PA 19428    | 313 WATERLOO-STANHOPE RD |            |  |  |  |
| 104                    | 2   |      | 1   | FRATELLI BERETTA USA LLC 750 CLARK DR BUDD LAKE, NJ 07828                           | 700 INTERNATIONAL DR     |            |  |  |  |
| 104                    | 3   |      | 15C | STATE OF NJ DEP CN 114 DIVISION OF LAW TRENTON, NJ 08625                            | 702 INTERNATIONAL DR     |            |  |  |  |
| 104                    | 4   |      | 1   | FRATELLI BERETTA USA LLC 750 CLARK DR BUDD LAKE, NJ 07828                           | 710 INTERNATIONAL DR     |            |  |  |  |
| 107                    | 2   |      | 48  | MCP MT OLIVE LLC 2 BRIGTON RD CLIFTON, NJ 07012                                     | 400 INTERNATIONAL DR     |            |  |  |  |
| 107                    | 3   |      | 1   | FRATELLI BERETTA USA INC 750 CLARK DR BUDD LAKE, NJ 07828                           | 650 INTERNATIONAL DR     |            |  |  |  |
| 402                    | 5   |      | 4A  | GIVAUDAN ROURE CORP ATTN, TAX DEPT 1199 EDISON DR CINCINNATI, OHIO 45216            | 310 WATERLOO VALLEY RD   |            |  |  |  |
| 403                    | 7   |      | 48  | 816 BOX PROPERTY OWNER E LLOXETER 101 WEST ELM ST, SUITE 600 CONSHOHOCKEN, PA 19428 | 330 WATERLOO VALLEY RD   |            |  |  |  |

GENERAL NOTES

- APPLICANT & OWNER: FRATELLI BERETTA U.S.A. INC.  
650 CLARK DRIVE  
MOUNT OLIVE, NJ 07828
- THE SUBJECT PROPERTY IS KNOWN AS LOT 3, BLOCK 107 AS SHOWN ON THE TOWNSHIP OF MOUNT OLIVE TAX MAP SHEET #1.03.
  - THE SUBJECT PROPERTY CONTAINS 5.186 ACRES, AND IS SITUATED IN THE FTZ-3 (FOREIGN TRADE ZONE 3) ZONE DISTRICT.
  - ALL UNDERGROUND UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE. THE LOCATIONS OF TELEPHONE, GAS AND ELECTRIC WILL BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. "CALL BEFORE YOU DIG" MUST BE CONTACTED PRIOR TO THE START OF CONSTRUCTION AT "811".
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP OF MOUNT OLIVE STANDARDS AND SPECIFICATIONS, AND ALL STRUCTURES ARE SUBJECT TO REVIEW BY THE CONSTRUCTION CODE OFFICIAL. THE CONSTRUCTION OF ALL SITE IMPROVEMENTS SHALL COMPLY WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE.
  - WORK MAY BE PERFORMED MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM. THE TOWN MUST APPROVE EARLY STARTS AND WORK ON SATURDAYS, SUNDAYS AND HOLIDAYS. THE COST FOR INSPECTION SERVICES BY THE TOWN CONSTRUCTION DEPARTMENT OR THE OWNER/APPLICANT ENGINEER BEYOND NORMAL WORK DAYS AND HOURS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - NO MATERIAL OR EQUIPMENT IS TO BE STORED ON ANY AREA THAT HAS NOT BEEN ESTABLISHED AS A DESIGNATED STAGING AREA. ALL EXCAVATIONS SHALL BE PROTECTED AT THE END OF EACH WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY. STAGING AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
  - ALL CONSTRUCTION MATERIALS, PRODUCTS, HOURS OF OPERATION, ETC. SHALL BE IN ACCORDANCE WITH THE OWNER, THE ON-SITE ENGINEER, AND THE TOWNSHIP OF MOUNT OLIVE. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL AS-BUILT SURVEYS PER TOWN REQUIREMENTS & FOR THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LOCAL BUILDING PERMITS. THE OWNER WILL OBTAIN ALL PLANNING, ZONING AND LAND DISTURBANCE PERMITS, IF DEEMED NECESSARY.
  - ALL EXISTING ITEMS NOT DENOTED "TO REMAIN" OR "TO BE REMOVED" SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.

The following entities have requested that they be notified of matters coming before the Planning Board or Board of Adjustment:

Bruce D. Smith  
Hacktettstown Municipal Utilities Authority  
P.O. Box 450  
Hacktettstown, NJ 07840

R. Albanese  
New Jersey Natural Gas  
1415 Wyckoff Road  
Wall, NJ 07719

Bruce Reynolds  
Columbia Gas Transmission Corp  
1470 Poorhouse Road  
Downingtown, PA 19335-342

Mt Olive Township, Water & Sewer Department  
P.O. Box 450  
204 Flanders-Drakestown Road  
Mt Olive, NJ 07828

N.J. Department of Transportation  
1035 Parkway Dr CN 600  
Trenton, NJ 08625

Public Service Electric & Gas Company  
Manager - Corporate Properties  
80 Park Plaza, T6B  
Newark, NJ 07102

New Jersey - American Water Co. Inc  
P.O. Box 5627  
Cherry Hill, New Jersey 08034

Applied Wastewater Management  
2 Clerico Lane  
Hillsborough, NJ 08844

NOTICE

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SUBURBAN CONSULTING ENGINEERS, INC.  
PER N.J.A.C. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL ON PAPER COPIES NOT CONTAINING A CAUSED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED.

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DESCRIPTION

REVISIONS

NO.

DATE:

BY:

CHK:

DRAWN BY:

JNP

11/03/2023

CHECKED BY:

BMD

11/03/2023

CHECKED BY:

ERIN B. ABLINE, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE05524500

DATE: 11/03/2023

DAREN J. PHIL, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03619100

DATE: 11/03/2023



SUBURBAN CONSULTING  
ENGINEERS, INC.

COA NO.: 24GA28037500  
21M110004520

- Civil Engineers - Municipal Engineers -  
- Landscape Architects -  
- Planners - Environmentalists - Land Surveyors -

96 US Highway 206, Suite 101 2430 Highway 34, Bldg. A Suite 1R 505 Main Street, Suite 314  
Hlanders, NJ 07836 - 973.398.1776 Wall, NJ 08736 - 732.282.1776 Hackensack, NJ 07601 - 201.646.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR  
FRATELLI BERETTA  
650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3  
TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY

PROJECT NUMBER:  
SCE-12449.011

SCALE:

N.T.S.

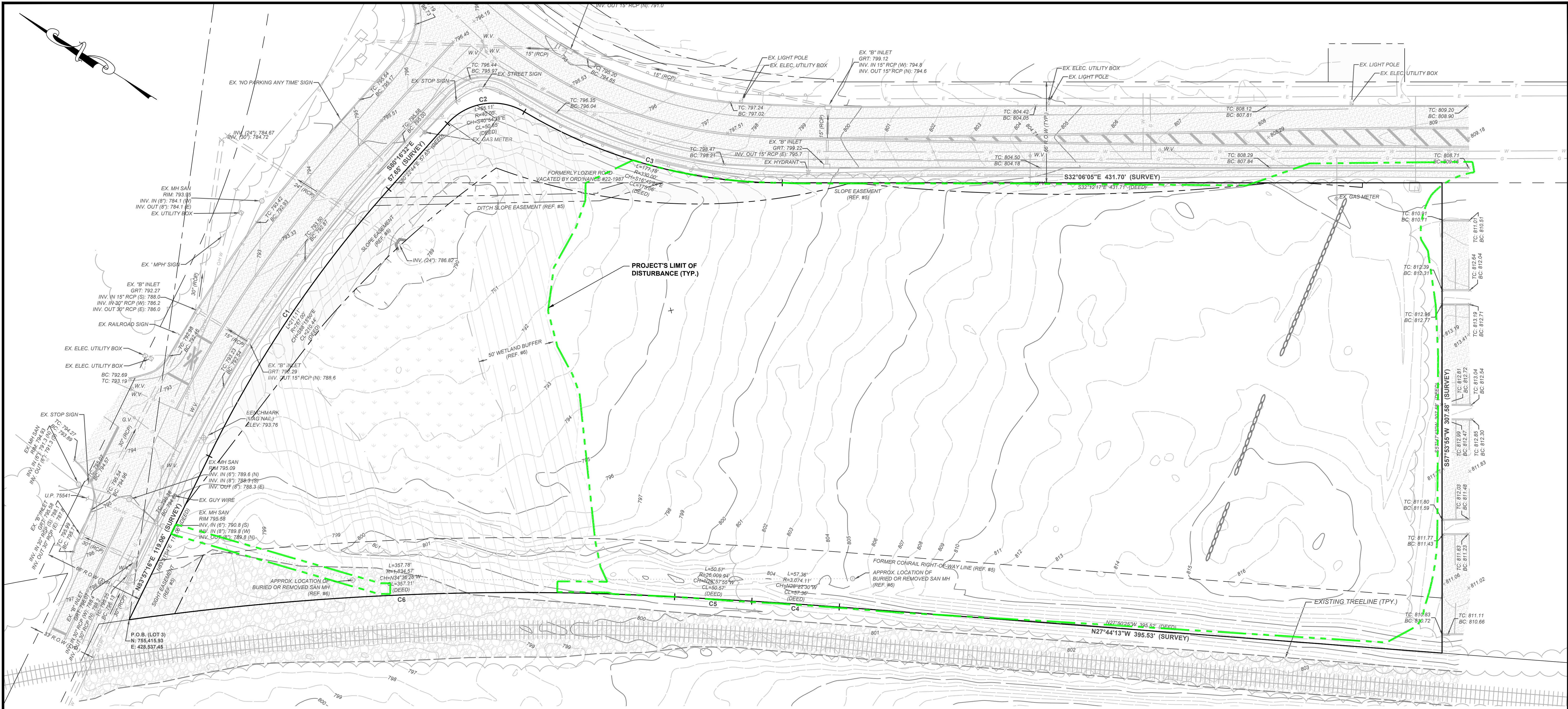
SHEET 2 OF 8

REVISION

GENERAL NOTES AND LEGEND



G:\Engineering\SCE\Mt Olive\12449.011 Mt Olive\Sheets\12449.011 03 Existing Conditions and Demodwg Mon, Nov 13, 2023, 4:50pm agroschadl SUBURBAN CONSULTING ENGINEERS, INC.



REFERENCES:

1. TAX MAP - LOT 3, BLOCK 107, ON THE CURRENT TAX MAP OF THE TOWNSHIP OF MOUNT OLIVE, SHEET #1.03.
2. ORTHOPHOTOGRAPHY - NJ OFFICE OF INFORMATION TECHNOLOGY (NJGIT), OFFICE OF GEOGRAPHIC INFORMATION SYSTEMS (OGIS), AND U.S. GEOLOGICAL SURVEY, 20160224, NEW JERSEY 2015 HIGH RESOLUTION ORTHOPHOTOGRAPHY, HAD083(2011) NJ STATE PLANE FEET, MRSID TILES: NJGIT, OGIS, PO BOX 212, TRENTON, NJ, 08625-0212, US.
3. AERIAL IMAGERY - © NEARMAP US, INC. HTTP://GO.NEARMAP.COM
4. RECORD DEED - FROM SHARI SPIRIDIGLOZZI TO FRATELLI BERTTA USA, INC., DATED MARCH 11, 2021, AND RECORDED IN THE MORRIS COUNTY CLERK'S OFFICE ON MARCH 24, 2021, IN DEED BOOK 2407, PAGE 1739.
5. BOUNDARY & TOPOGRAPHIC SURVEY - "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY SUBURBAN CONSULTING ENGINEERS, INC., DATED JULY 30, 2021.
6. SITE PLAN - "PRELIMINARY AND FINAL MAJOR SITE PLAN OF 650 INTERNATIONAL DRIVE, BLOCK 107, LOT 3" PREPARED BY SUBURBAN CONSULTING ENGINEERS, DATED AUGUST 11, 2021.
7. LIDAR DATA - DATA DOWNLOADED FROM WEB LINK "HTTP://NED.USGS.GOV". META DATA CAN BE DOWN LOADED FROM: HTTPS://ROCKYWEB.USGS.GOV/DELIVERY/DATASETS/STAGED/NED/LPC/PROJECTS/NJ\_HIGHLANDS\_2006/METADATA/NJ\_HIGHLANDS\_2006.ZIP CONTACT, ORGANIZATION: NEW JERSEY HIGHLANDS COUNCIL CONTACT\_ADDRESS: 100 NORTH ROAD (ROUTE 513), CHESTER, NJ, 07930 PUBLICATION DATE 2014-09-11 FILE MODIFICATION DATE: 2018-10-05
8. GEOTECH REPORT - "SUBSURFACE INVESTIGATION - STORMWATER MANAGEMENT AREAS" PREPARED BY MELICK-TULLY & ASSOCIATES, DATED NOVEMBER 14, 2019.

NOTES:

1. THIS SURVEY IS PREPARED IN ACCORDANCE WITH DOCUMENTS SUPPLIED BY THE CLIENT AND SUPPLEMENTAL INFORMATION OBTAINED BY SUBURBAN CONSULTING ENGINEERS, INC. THROUGH LIMITED RECORDS RESEARCH. THE DOCUMENTS USED DO NOT REPRESENT A COMPLETE TITLE SEARCH OF THE SUBJECT PROPERTY AND MAY OR MAY NOT BE ALL THE RELEVANT TITLE DOCUMENTS FOR THE SUBJECT PROPERTY.
2. SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS OF WAY, AND EXCEPTIONS OF RECORD.
3. SUBJECT PROPERTY IS KNOWN AS LOT 3, BLOCK 107 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY, SHEET 1.03.
4. AREA = 225,893 SF OR 5.1858 ACRES
5. THIS MAP AND SURVEY WERE PREPARED FROM INFORMATION FURNISHED AND/OR OBTAINED TOGETHER WITH EVIDENCE FOUND ON THE GROUND AND IS SUBJECT TO SUCH FACTS THAT AN ACCURATE TITLE SEARCH MAY REVEAL.
6. LOCATION OF UNDERGROUND UTILITIES, IF DEPICTED, ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE SURVEY. THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME AND SUBURBAN CONSULTING ENGINEERS, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR ABSENCE OF UTILITIES.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. WETLANDS SHOWN HEREON ARE PER NJDEP LETTER OF INTERPRETATION # 1427-04-0017.3, FWW180001 ISSUED ON FEBRUARY 11, 2019.

9. WETLAND FLAGS AS DEPICTED HEREON ARE PLACED BY ATLANTIC ENVIROMENTAL SOLUTIONS, INC. AND FIELD LOCATED BY CPL PARTNERSHIP.
10. HORIZONTAL DATUM BASED ON NAD-83(2011), PER GPS SATELLITE OBSERVATION.
11. VERTICAL DATUM IS BASED ON NAVD-88, PER GPS SATELLITE OBSERVATION.
12. DATUM SHOWN HEREON PER GPS SATELLITE OBSERVATION AND SOLUTIONS PROVIDED REAL TIME BY KEYNET GPS, INC. WHICH UTILIZES TRIMBLE VIRTUAL REFERENCE SYSTEM CONTINUALLY OPERATING HIGH PRECISION GNSS REFERENCE STATIONS. DATUM PROVIDED IS NAD-83(2011) / NAVD-88 NEW JERSEY STATE PLANE COORDINATE SYSTEM, ZONE 2900.
13. CONDITIONS DEPICTED HEREON PER ACTUAL FIELD INSTRUMENT SURVEY PERFORMED JULY 21, 2021.
14. PROPERTY MARKERS SHOWN HEREON HAVE BEEN FOUND AND/OR SET IN ACCORDANCE WITH N.J.A.C. 13:40-5.1(d).
15. LIDAR DATA WAS USED IN PART OR IN WHOLE TO CREATE THE SURFACE DATA. LIDAR (LIGHT DETECTION AND RANGING) DISCRETE-RETURN POINT CLOUD DATA ARE AVAILABLE IN THE AMERICAN SOCIETY FOR PHOTOGRAMMETRY AND REMOTE SENSING (ASPRS) LAS FORMAT. FOR ADDITIONAL INFORMATION PLEASE REFER TO: HTTP://WWW.ASPRS.ORG/COMMITTEE-GENERAL/LASER-LAS-FILE-FORMAT-EXCHANGE-ACTIVITIES.HTML
16. THIS PLAN DEPICTS CONDITIONS THAT EXISTED ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROPOSED PROJECT.

NOTICE

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DRAWN BY:

JNP

11/03/2023

CHECKED BY:

BMD

11/03/2023

CHECKED BY:

ERIN B. ABLINE, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE05524500

DATE: 11/03/2023

DAREN J. PHIL, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03619100

DATE: 11/03/2023



SUBURBAN CONSULTING ENGINEERS, INC.

COA NO. 24CA28037500  
210710000529

- Civil Engineers - Municipal Engineers -  
- Landscape Architects -  
- Planners - Environmentalists - Land Surveyors -

96 US Highway 206, Suite 107 2430 Highway 34, Bldg. A Suite 1R 505 Main Street, Suite 314  
Hlanders, NJ 07836 - 973.398.1776 Wall, NJ 08736 - 732.282.1776 Hackensack, NJ 07601 - 201.646.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR  
FRATELLI BERTTA  
650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3  
TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY

PROJECT NUMBER:  
SCE-12449.011

SCALE:  
1"=30'

SHEET 3 OF 8

EXISTING CONDITIONS PLAN  
(PRIOR TO CONSTRUCTION)

REVISION

DESCRIPTION

REVISIONS

NO.

DATE:

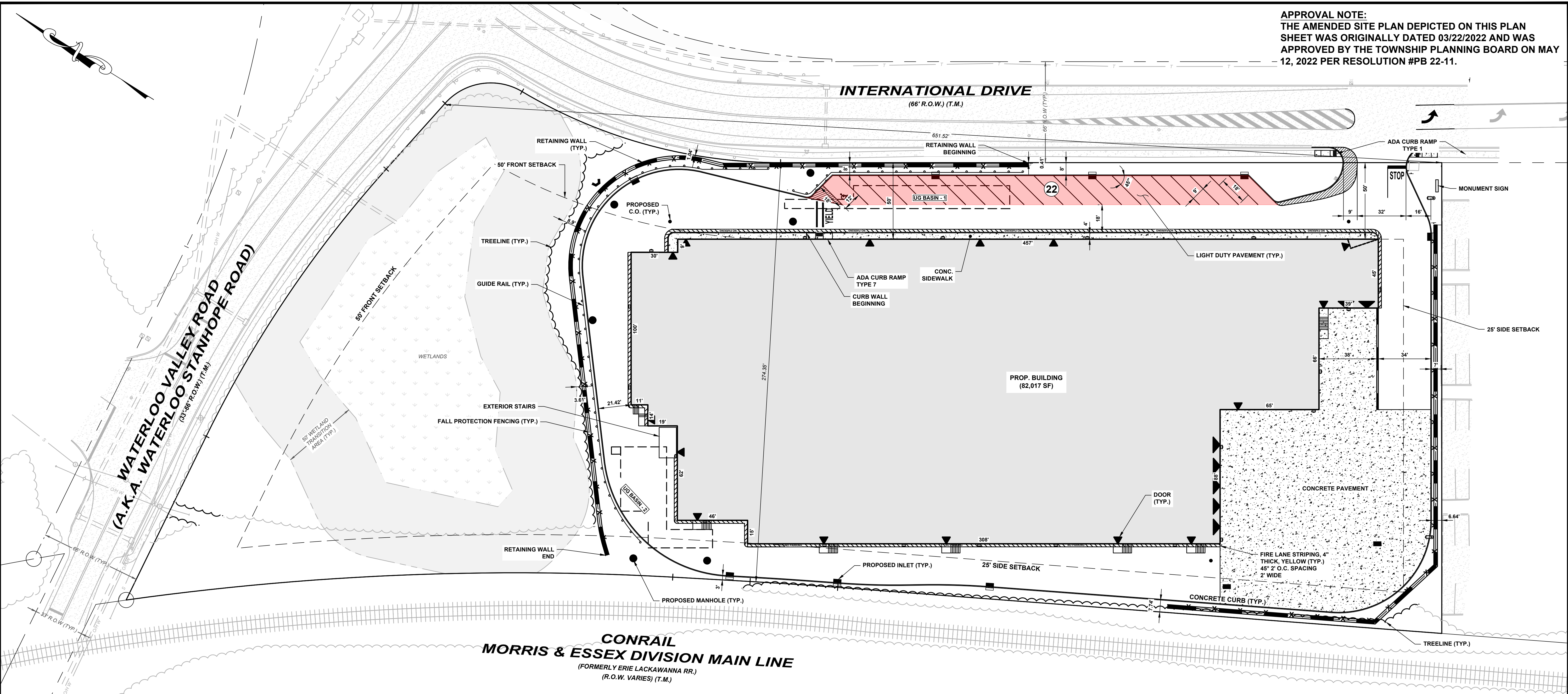
BY:

CHK:

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G:\Engineering\SCE\Mt Olive\12449.011 Mt Olive\Sheets\12449.011 04 Approved Site Layout.dwg Mon, Nov 13, 2023 - 4:50pm agroschadl SUBURBAN CONSULTING ENGINEERS, INC.



APPROVAL NOTE:  
THE AMENDED SITE PLAN DEPICTED ON THIS PLAN  
SHEET WAS ORIGINALLY DATED 03/22/2022 AND WAS  
APPROVED BY THE TOWNSHIP PLANNING BOARD ON MAY  
12, 2022 PER RESOLUTION #PB 22-11.



SCALE: 1"=30'

**PARKING ANALYSIS PER §550-56.J. (PER PLANS DATED 03/22/2022)**

**PARKING REQUIREMENTS FOR FOREIGN TRADE ZONE DISTRICT (FTZ-3):**

WAREHOUSE = 1 PARKING SPACE PER 5,000 SF OF GROSS FLOOR AREA  
MANUFACTURING = 1 PARKING SPACE PER 800 SF OF GROSS FLOOR AREA  
OFFICE = 3.5 PARKING SPACES PER 1,000 SF OF GROSS FLOOR AREA

**PROPOSED BUILDING CALCULATIONS:**

TOTAL BUILDING AREA = 164,034 SF (10,758 SF MECHANICAL AREA INCLUDED)

AREA OF WAREHOUSE USE = 118,777 SF  
REQUIRED NUMBER OF PARKING SPACES = 24

AREA OF MANUFACTURING USE = 29,039 SF  
REQUIRED NUMBER OF PARKING SPACES = 36

AREA OF OFFICE USE = 5,460 SF  
REQUIRED NUMBER OF PARKING SPACES = 5

TOTAL NUMBER OF REQUIRED PARKING SPACES = 65  
TOTAL NUMBER OF PARKING SPACES PROVIDED = 22

**LOADING SPACE ANALYSIS PER §550-56.I.(3) (PER PLANS DATED 03/22/2022)**

**LOADING REQUIREMENTS FOR FOREIGN TRADE ZONE DISTRICT (FTZ-3):**

WAREHOUSE = 1 LOADING SPACE REQUIRED AT 5,000 SF OF GROSS FLOOR AREA  
1 ADDITIONAL LOADING SPACE REQUIRED AT 40,000 SF OF GROSS FLOOR AREA  
1 ADDITIONAL LOADING SPACE REQUIRED PER EACH ADDITIONAL 30,000 SF THEREAFTER

MANUFACTURING = 1 LOADING SPACE REQUIRED AT 5,000 SF OF GROSS FLOOR AREA  
1 ADDITIONAL LOADING SPACE REQUIRED AT 40,000 SF OF GROSS FLOOR AREA  
1 ADDITIONAL LOADING SPACE REQUIRED PER EACH ADDITIONAL 30,000 SF THEREAFTER

OFFICE = 1 LOADING SPACE REQUIRED AT 10,000 SF OF GROSS FLOOR AREA  
1 ADDITIONAL LOADING SPACE REQUIRED AT 100,000 SF OF GROSS FLOOR AREA  
1 ADDITIONAL LOADING SPACE REQUIRED PER EACH ADDITIONAL 100,000 SF THEREAFTER

**PROPOSED BUILDING CALCULATIONS:**

TOTAL BUILDING AREA = 164,034 SF (10,758 SF MECHANICAL AREA INCLUDED)

AREA OF WAREHOUSE USE = 118,777 SF  
REQUIRED NUMBER OF LOADING SPACES = 5

AREA OF MANUFACTURING USE = 29,039 SF  
REQUIRED NUMBER OF LOADING SPACES = 1

AREA OF OFFICE USE = 5,460 SF  
REQUIRED NUMBER OF LOADING SPACES = 0

TOTAL NUMBER OF REQUIRED LOADING SPACES = 6  
TOTAL NUMBER OF LOADING SPACES PROVIDED = 7

NOTE  
SIGHT TRIANGLES PER AASHTO STANDARDS

**SIGN ANALYSIS PER §550.95: (PER PLANS DATED 03/22/2022)**

FOR FOREIGN TRADE ZONE DISTRICT (FTZ-3):  
PER §550.95.B.(5)(F) - TENANT BUILDING ENTRANCE IDENTIFICATION PYLON, NOT TO EXCEED 10 FT IN HEIGHT (COMPLIES)  
PER §550.95.B.(6) - ALL SIGNS MUST BE SET BACK A MINIMUM OF 10 FT FROM THE STREET R.O.W. (COMPLIES)

**VARIANCES AND DESIGN EXCEPTIONS (PER PLANS DATED 03/22/2022)**

PREVIOUSLY GRANTED EXEMPTIONS:  
1 - §550-56.E.(3) - PARKING SPACE SIZE - 9' X 18' (180 SF REQUIRED)  
2 - §550-36 - BUFFERS - 0.41' BUFFER PROPOSED  
3 - §550 ATTACHMENT 4 - PARKING WITHIN FRONT YARD - 8' TO STREET R.O.W. (REQUIRED - 15')  
4 - §550-75.(1)(b)(1) - REPLACEMENT TREES - PAYMENT TO REPLACEMENT FUND IN LIEU OF TREES (1,100 TREES)  
5 - §550-36 - CRITICAL AREAS - 5,905 SF MODERATE SLOPE DISTURBANCE (4,497 SF ALLOWED)

**PREVIOUSLY GRANTED VARIANCES:**

1 - §550 ATTACHMENT 4 - 65.7% MAXIMUM LOT COVERAGE EXCEEDS PERMITTED 60% MAXIMUM  
2 - §550-82A(2), §550-82A(3) - 10.8' MAXIMUM HEIGHT OF RETAINING WALL EXCEEDS PERMITTED 6' MAXIMUM

**NEW EXEMPTION:**

1 - §550-56.J - NUMBER OF PARKING SPACES - 22 PROPOSED (65 REQUIRED)

**NEW VARIANCE:**

1 - §550 ATTACHMENT 4 - 72.6% MAXIMUM FLOOR AREA RATIO EXCEEDS PERMITTED 30% MAXIMUM

\* - A MINIMUM FRONT YARD OF ONE FOOT FOR EACH TWO FEET OF BUILDING HEIGHT SHALL BE PROVIDED, BUT NOT LESS THAN 50 FEET SHALL BE PROVIDED ON COLLECTOR STREETS - §550-103.(5).(D).

**TOWNSHIP OF MOUNT OLIVE - ZONING ANALYSIS (PER PLANS DATED 03/22/2022)**

| LAND USE AND ZONING REGULATION          |                                   | ALLOWABLE FTZ-3 ZONE REQ.                 | EXISTING LOT 3                | PROPOSED LOT 3              | VARIANCE |
|---|-----------------------------------|---|-------------------------------|-----------------------------|----------|
| § 550-103.G.(1)                         | PERMITTED USE                     | INDUSTRIAL OR OFFICE OTHER PERMITTED USES | VACANT                        | MANUFACTURING & WAREHOUSING | No       |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MINIMUM LOT AREA                  | 5 AC                                      | 5.1858 AC<br>(225,893.448 SF) | NO CHANGE                   | No       |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MINIMUM LOT WIDTH                 | 250 FT                                    | 651.9 FT                      | NO CHANGE                   | No       |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MINIMUM LOT DEPTH                 | 250 FT                                    | 274.6 FT                      | NO CHANGE                   | No       |
| PRINCIPAL STRUCTURE / BUILDING SETBACKS |                                   |   |                               |                             |          |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MINIMUM FRONT YARD SETBACK        | 50 FT                                     | N/A                           | 50 FT                       | No       |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MINIMUM SIDE YARD SETBACK         | 25 FT                                     | N/A                           | 25 FT                       | No       |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MINIMUM REAR YARD SETBACK         | 25 FT                                     | N/A                           | N/A                         | No       |
| MAXIMUM REQUIREMENTS                    |                                   |   |                               |                             |          |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MAXIMUM BUILDING COVERAGE         | N/A                                       | N/A                           | 36.3%                       | No       |
| § 550-103.G.(5).(2)<br>550 Attachment 4 | MAXIMUM LOT COVERAGE              | 60%                                       | N/A                           | 65.5%                       | YES      |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MAXIMUM PRINCIPAL BUILDING HEIGHT | 85 FT                                     | N/A                           | < 85 FT                     | No       |
| § 550-103.G.(5).(a)<br>550 Attachment 4 | MAXIMUM FLOOR AREA RATIO          | 30%                                       | N/A                           | 72.6%                       | YES      |

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REVISIONS

NO.

DATE:

BY:

CHK:

DRAWN BY:

JNP

11/03/2023

CHECKED BY:

BMD

11/03/2023

CHECKED BY:

**ERIN B. ABLINE, PE**  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03624500

DATE: 11/03/2023

**DAREN J. PHIL, PE**  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03619100

DATE: 11/03/2023



**SUBURBAN CONSULTING ENGINEERS, INC.**

COA NO.: 24CA28037500

- Civil Engineers - Municipal Engineers -  
- Landscape Architects -

- Planners - Environmentalists - Land Surveyors -

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EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

**AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR**  
**FRATELLI BERETTA**  
**650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3**  
**TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY**

**APPROVED SITE LAYOUT PLAN**  
**(PER PLANS DATED 03-22-2023)**

PROJECT NUMBER:  
SCE-12449.011

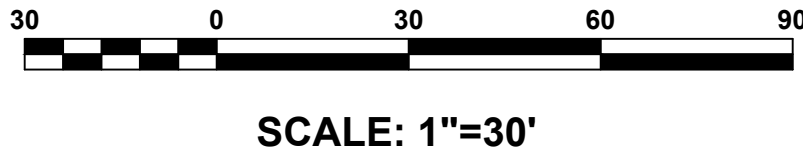
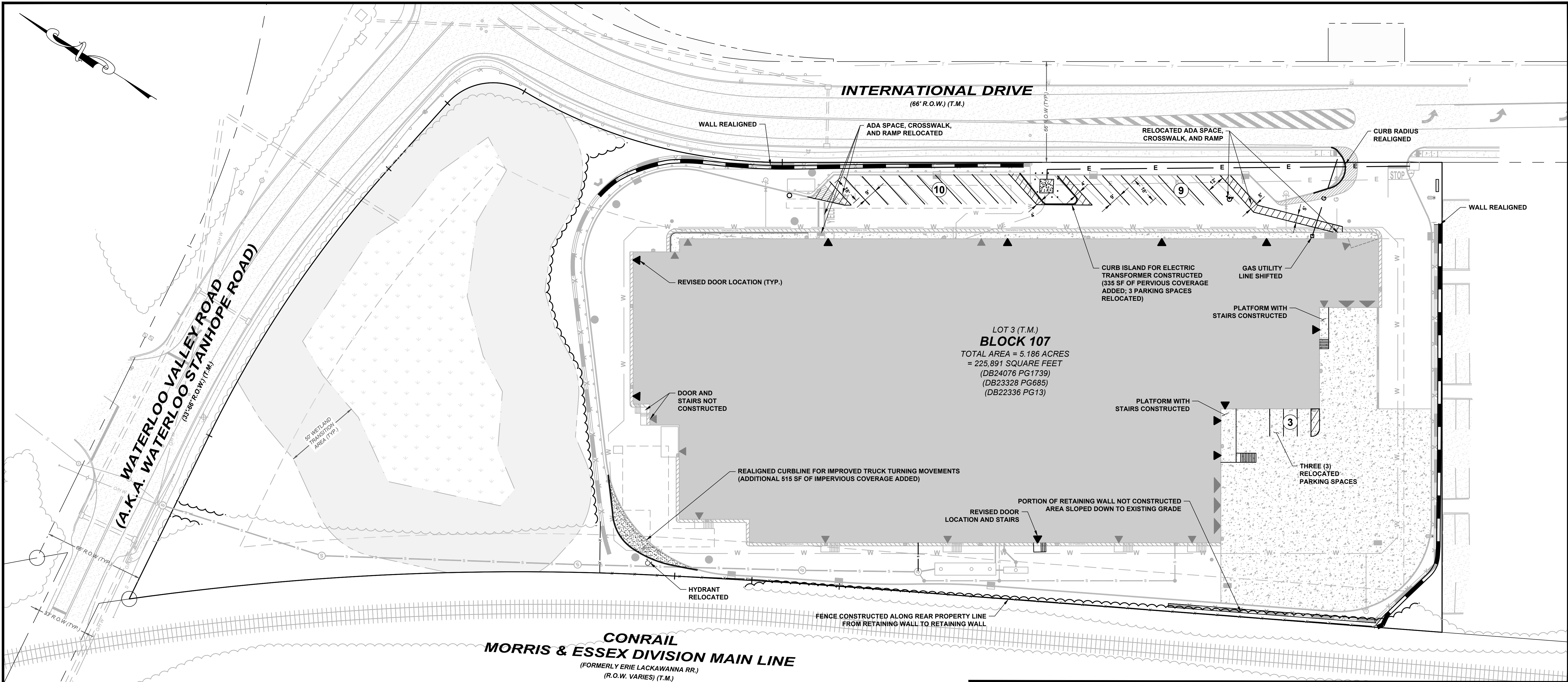
SCALE:  
1"=30'

SHEET 4 OF 8

REVISION



G:\Engineering\SCE\Mt Olive\12449.011 Mt Olive\Sheets\12449.011 05 Amended Site Layout.dwg Mon, Nov 13, 2023 - 4:50pm agroschadl SUBURBAN CONSULTING ENGINEERS, INC.



**CONRAIL**  
**MORRIS & ESSEX DIVISION MAIN LINE**  
(FORMERLY ERIE LACKAWANNA RR.)  
(R.O.W. VARIES) (T.M.)

**AMENDED SITE PLAN NOTE:**

- PREVIOUS AMENDED SITE PLAN APPROVAL WAS GRANTED FOR THIS PROJECT ON MAY 12, 2022 PER RESOLUTION #PB 22-11. THE CHANGES DEPICTED ON THIS AMENDED SITE PLAN WERE NECESSARY TO BE MADE IN THE FIELD DUE TO SPECIFIC FIELD CONDITIONS AND COORDINATION WITH UTILITY COMPANY REQUIREMENTS.
- AS-BUILT CONDITIONS ARE BASED ON THE SURVEY ENTITLED "FINAL AS-BUILT SURVEY," PREPARED BY SUBURBAN CONSULTING ENGINEERS INC., DATED NOVEMBER 13, 2023. AS-BUILT CONDITIONS ARE BASED ON FIELD SURVEY PERFORMED ON SEPTEMBER 21, 2023.

| TOWNSHIP OF MOUNT OLIVE - ZONING ANALYSIS |                                   |   |                            |                             |          |
|---|-----------------------------------|---|----------------------------|-----------------------------|----------|
| LAND USE AND ZONING REGULATION            |                                   |   |                            |                             |          |
|   | PERMITTED USE                     | ALLOWABLE FTZ-3 ZONE REQ.                 | EXISTING LOT 3             | PROPOSED LOT 3              | VARIANCE |
| § 550-103 G.(1)                           |                                   | INDUSTRIAL OR OFFICE OTHER PERMITTED USES | VACANT                     | MANUFACTURING & WAREHOUSING | No       |
| § 550-103 G.(5)(a)                        |                                   |   | 5.1858 AC (225,893.448 SF) | NO CHANGE                   | No       |
| 550 Attachment 4                          | MINIMUM LOT AREA                  | 5 AC                                      |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | 651.9 FT                   | NO CHANGE                   | No       |
| 550 Attachment 4                          | MINIMUM LOT WIDTH                 | 250 FT                                    |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | 274.6 FT                   | NO CHANGE                   | No       |
| 550 Attachment 4                          | MINIMUM LOT DEPTH                 | 250 FT                                    |                            |                             |          |
| PRINCIPAL STRUCTURE / BUILDING SETBACKS   |                                   |   |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | NA                         | 50 FT                       | No       |
| 550 Attachment 4                          | MINIMUM FRONT YARD SETBACK        | 50 FT                                     |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | NA                         | 25 FT                       | No       |
| 550 Attachment 4                          | MINIMUM SIDE YARD SETBACK         | 25 FT                                     |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | NA                         | NA                          | No       |
| 550 Attachment 4                          | MINIMUM REAR YARD SETBACK         | 25 FT                                     |                            |                             |          |
| MAXIMUM REQUIREMENTS                      |                                   |   |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | NA                         | 36.3%                       | No       |
| 550 Attachment 4                          | MAXIMUM BUILDING COVERAGE         | NA  |                            |                             |          |
| § 550-103 G.(5)(i)(2)                     |                                   |   | NA                         | 65.6%*                      | YES      |
| 550 Attachment 4                          | MAXIMUM LOT COVERAGE              | 60%                                       |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | NA                         | < 85 FT                     | No       |
| 550 Attachment 4                          | MAXIMUM PRINCIPAL BUILDING HEIGHT | 85 FT                                     |                            |                             |          |
| § 550-103 G.(5)(a)                        |                                   |   | NA                         | 72.6%                       | YES      |
| 550 Attachment 4                          | MAXIMUM FLOOR AREA RATIO          | 30%                                       |                            |                             |          |

\* PROPOSED LOT COVERAGE WAS INCREASED BY 180 SF PER THIS SITE PLAN AMENDMENT. NO OTHER ZONING REQUIREMENTS WERE ALTERED.

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| DRAWN BY:<br>JNP<br>11/03/2023   |
| CHECKED BY:<br>BMD<br>11/03/2023 |
| CHECKED BY:                      |

**ERIN B. ABLINE, PE**  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE05524500  
  
DATE: 11/03/2023

**DAREN J. PHIL, PE**  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03619100  
  
DATE: 11/03/2023



**SUBURBAN CONSULTING ENGINEERS, INC.**  
COA NO.: 24CA28037500  
210110000529

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- Planners - Environmentalists - Land Surveyors -

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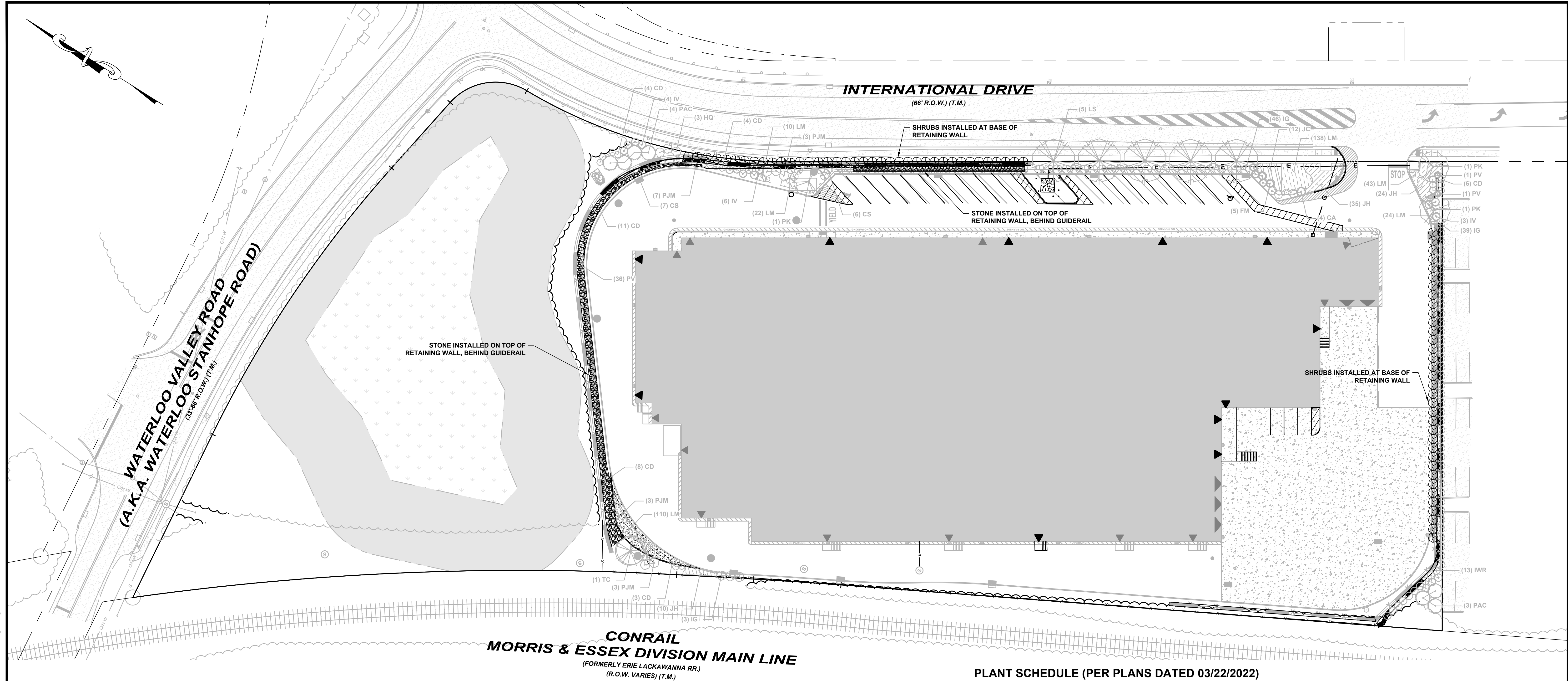
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|   |  |                                  |
|---|--|----------------------------------|
| <b>AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR</b><br><b>FRATELLI BERETTA</b><br><b>650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3</b><br><b>TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY</b> |  | PROJECT NUMBER:<br>SCE-12449.011 |
| <b>AMENDED SITE LAYOUT PLAN</b>   |  | SCALE:<br>1"=30'                 |
|   |  | SHEET <u>5 OF 8</u>              |
|   |  | REVISION <u>  </u>               |



G:\Engineering\SC\Emt Olive\12449.011 Mt Olive\Sheets\12449.011 6 AMENDED LANDSCAPE PLAN.dwg Mon, Nov 13, 2023 - 4:50pm agroschadl SUBURBAN CONSULTING ENGINEERS, INC.



SCALE: 1"=30'

AMENDED SITE PLAN NOTE:

- PREVIOUS AMENDED SITE PLAN APPROVAL WAS GRANTED FOR THIS PROJECT ON MAY 12, 2022 PER RESOLUTION #PB 22-11. THE CHANGES DEPICTED ON THIS AMENDED SITE PLAN WERE NECESSARY TO BE MADE IN THE FIELD DUE TO SPECIFIC FIELD CONDITIONS AND COORDINATION WITH UTILITY COMPANY REQUIREMENTS.
- AS-BUILT CONDITIONS ARE BASED ON THE SURVEY ENTITLED "FINAL AS-BUILT SURVEY," PREPARED BY SUBURBAN CONSULTING ENGINEERS INC., DATED NOVEMBER 13, 2023. AS-BUILT CONDITIONS ARE BASED ON FIELD SURVEY PERFORMED ON SEPTEMBER 21, 2023.

PLANT SCHEDULE (PER PLANS DATED 03/22/2022)

| DECIDUOUS TREES |  | BOTANICAL NAME                        | COMMON NAME                  | SIZE         | CONTAINER | QTY     |                                       |     |            |
|-----------------|--|---------------------------------------|------------------------------|--------------|-----------|---------|---------------------------------------|-----|------------|
| LS              |  | Liquidambar styraciflua 'Rotundiloba' | Round-Lobed Sweet Gum        | 2.5"-3" cal. | B & B     | 5       | SYMMETRICAL BRANCHING, HEAVY SPECIMEN |     |            |
| TC              |  | Tilia cordata 'Greenspire'            | Greenspire Littleleaf Linden | 2.5"-3" cal. | B & B     | 1       | SYMMETRICAL BRANCHING, HEAVY SPECIMEN |     |            |
| EVERGREEN TREES |  | BOTANICAL NAME                        | COMMON NAME                  | SIZE         | CONTAINER | QTY     |                                       |     |            |
| PAC             |  | Picea abies 'Cupressina'              | Columnar Norway Spruce       | 8-10' Ht.    | B & B     | 7       | SYMMETRICAL BRANCHING                 |     |            |
| FLOWERING TREES |  | BOTANICAL NAME                        | COMMON NAME                  | SIZE         | CONTAINER | QTY     |                                       |     |            |
| PK              |  | Prunus x 'Kanzan'                     | Kanzan Flowering Cherry      | 2.5"-3" cal. | B & B     | 3       | SYMMETRICAL BRANCHING, HEAVY SPECIMEN |     |            |
| SHRUBS          |  | BOTANICAL NAME                        | COMMON NAME                  | SIZE         | CONTAINER | SPACING | SPACING                               | QTY | REMARKS    |
| CA              |  | Clethra alnifolia                     | Summersweet Clethra          | 2'-3'        | 5 gal.    | 36"     | 60" o.c.                              | 4   | FULL PLANT |
| CS              |  | Cornus sericea                        | Red Twig Dogwood             | 3'-4'        | B & B     | 48"     | 60" o.c.                              | 13  | FULL PLANT |
| CD              |  | Cotoneaster dammeri 'Coral Beauty'    | Coral Beauty Cotoneaster     | 18"-24"      | 2 gal.    | 36"     | 48" o.c.                              | 36  | FULL PLANT |
| FM              |  | Fothergilla major 'Mount Airy'        | Mount Airy Fothergilla       | 18"-24"      | 5 gal.    | 36"     | 60" o.c.                              | 5   | FULL PLANT |
| HQ              |  | Hydrangea quercifolia                 | Oakleaf Hydrangea            | B & B        | 30"-36"   |         | 72" o.c.                              | 3   |            |
| IG              |  | Ilex glabra 'Nigra'                   | Nigra Inkberry Holly         | 30"-36"      | 7 gal.    |         | 72" o.c.                              | 88  | FULL PLANT |
| IWR             |  | Ilex verticillata 'Winter Red'        | Winter Red Holly             | 24"-30"      | 5 gal.    | 48"     | 60" o.c.                              | 13  | FULL PLANT |
| IV              |  | Itea virginica                        | Virginia Sweetspire          | 18"-24"      | 3 gal.    | 48"     | 60" o.c.                              | 13  | FULL PLANT |
| PJM             |  | Rhododendron x 'PJM'                  | PJM Rhododendron             | 24"-30"      | 7 gal.    | 48"     | 72" o.c.                              | 16  | FULL PLANT |
| GRASSES         |  | BOTANICAL NAME                        | COMMON NAME                  | SIZE         | CONTAINER | SPACING | SPACING                               | QTY | REMARKS    |
| PV              |  | Panicum virgatum 'Cloud Nine'         | Cloud Nine Switch Grass      | 2'-3'        | 3 gal.    | 36"     | 48" o.c.                              | 38  | FULL PLANT |
| GROUND COVERS   |  | BOTANICAL NAME                        | COMMON NAME                  | SIZE         | CONTAINER | SPACING | SPACING                               | QTY |            |
| JC              |  | Juniperus chinensis 'Sea Green'       | Sea Green Juniper            | 30"-36"      | 5 gal.    |         | 48" o.c.                              | 12  | FULL PLANT |
| JH              |  | Juniperus horizontalis 'Wiltonii'     | Blue Rug Juniper             | 18"-24"      | 3 gal.    |         | 36" o.c.                              | 69  | FULL PLANT |
| LM              |  | Liriope muscari 'Big Blue'            | Big Blue Lilyturf            | 9"-12"       | 2 gal.    |         | 18" o.c.                              | 347 | FULL PLANT |

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JNP

11/03/2023

CHECKED BY:

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11/03/2023

CHECKED BY:

ERIN B. ABLINE, PE  
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LICENSE NO. 24GE05524500

DATE: 11/03/2023

DAREN J. PHIL, PE  
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LICENSE NO. 24GE03619100

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ENGINEERS, INC.

COA NO. 24GA28037500  
21M100004504

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- Planners - Environmentalists - Land Surveyors -

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AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR  
FRATELLI BERETTA  
650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3  
TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY

PROJECT NUMBER:  
SCE-12449.011

SCALE:  
1"=30'

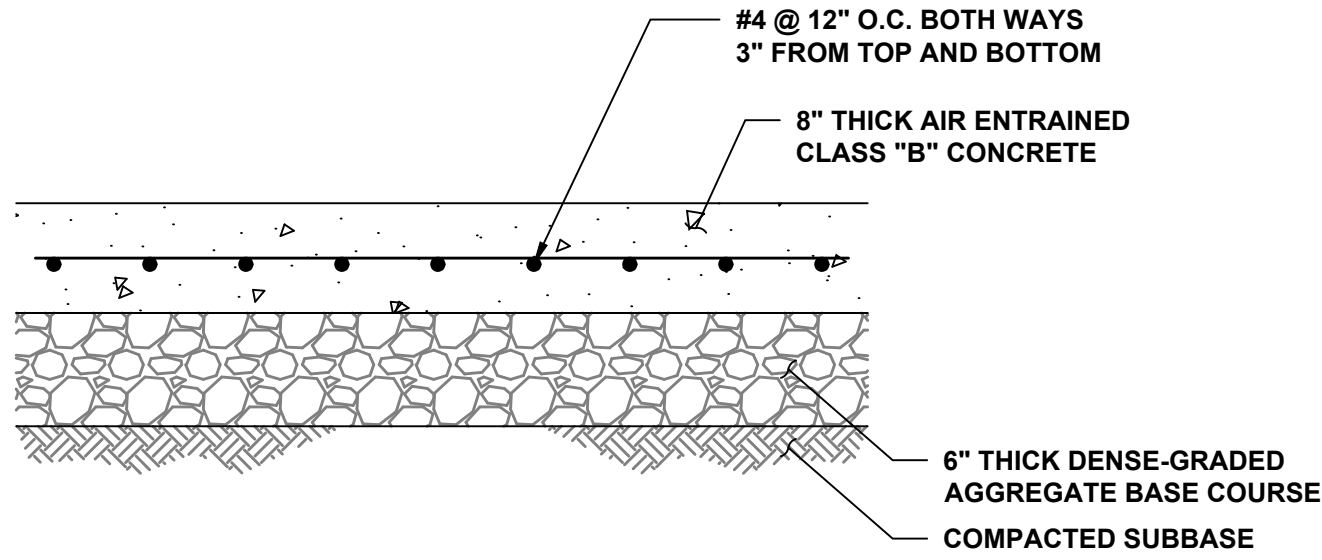
SHEET 6 OF 8

REVISION

AMENDED LANDSCAPING PLAN



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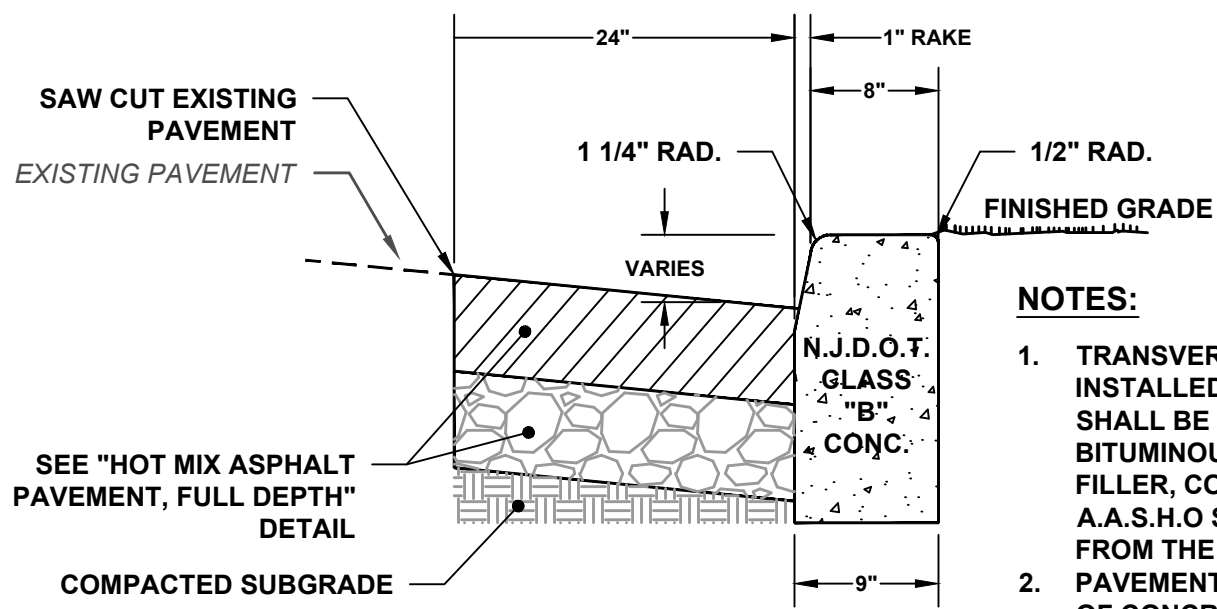


NOTES:

- SUBBASE SHALL BE COMPACTED TO THE SATISFACTION OF THE ENGINEER.
- CONCRETE PAD TO BE 3,500 PSI CONCRETE AND LEVEL LENGTHWISE, WIDTHWISE AND DIAGONALLY.
- THE CONCRETE PAD SHALL EXTEND 6" BEYOND ALL SIDES OF THE ENCLOSURE. CONTRACTOR TO VERIFY FINAL ENCLOSURE DIMENSIONS PRIOR TO FABRICATION OF PAD.
- ALL JOINTS AND EDGES TO BE TOOLED.
- SURFACE SHALL BE BRUSHED TRANSVERSELY TO A NEAT FINISH.
- ADJACENT GROUND SHALL BE BACKFILLED AND GRADED TO MATCH THE EXISTING GROUND.

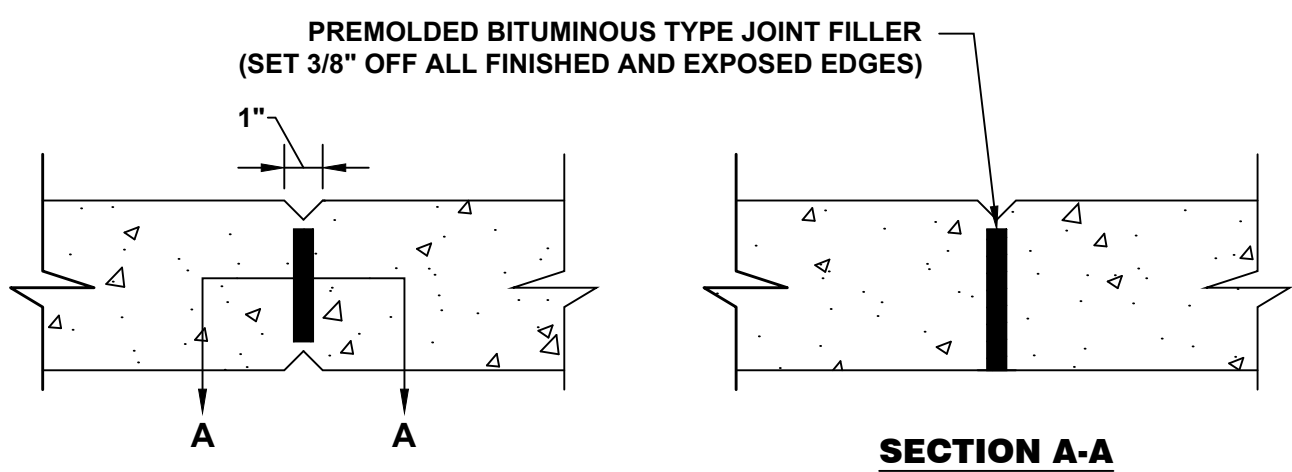
CONCRETE PAVEMENT, 8" THICK DETAIL

N.T.S.



CONCRETE VERTICAL CURB, 9"x18"

N.T.S

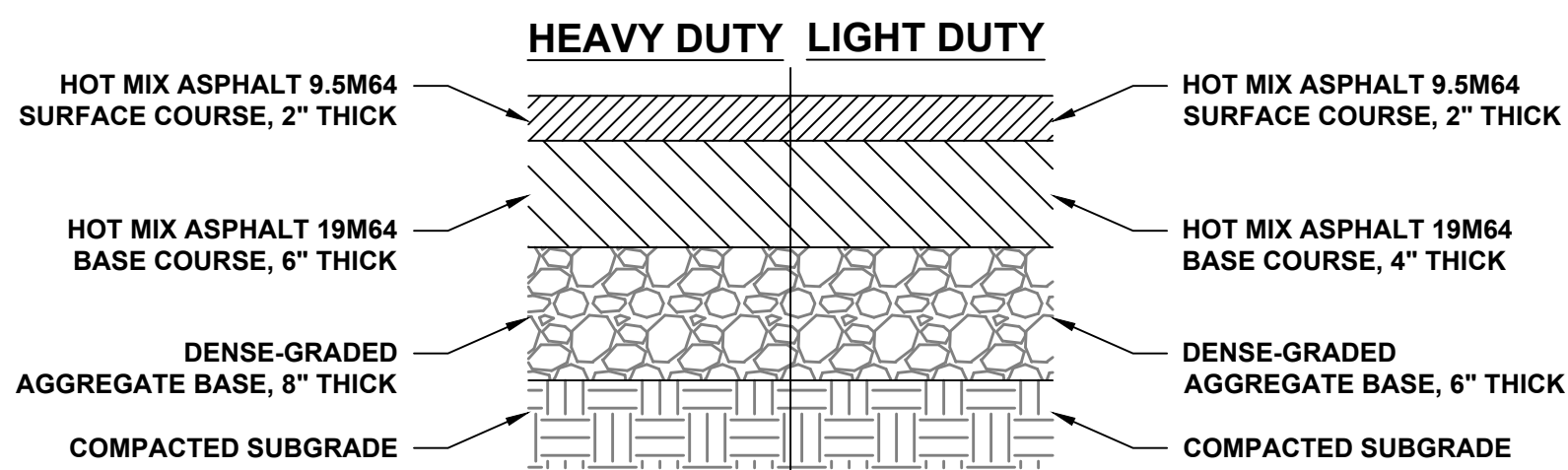


NOTES:

- EXPANSION JOINTS SPACED EVERY 6-8' O.C.
- V-NOTCH TO BE CAST IN PLACED, NOT TOOLED.
- PLACE AT CRITICAL LOCATIONS SUCH AS FENCE POSTS AND CORNERS.

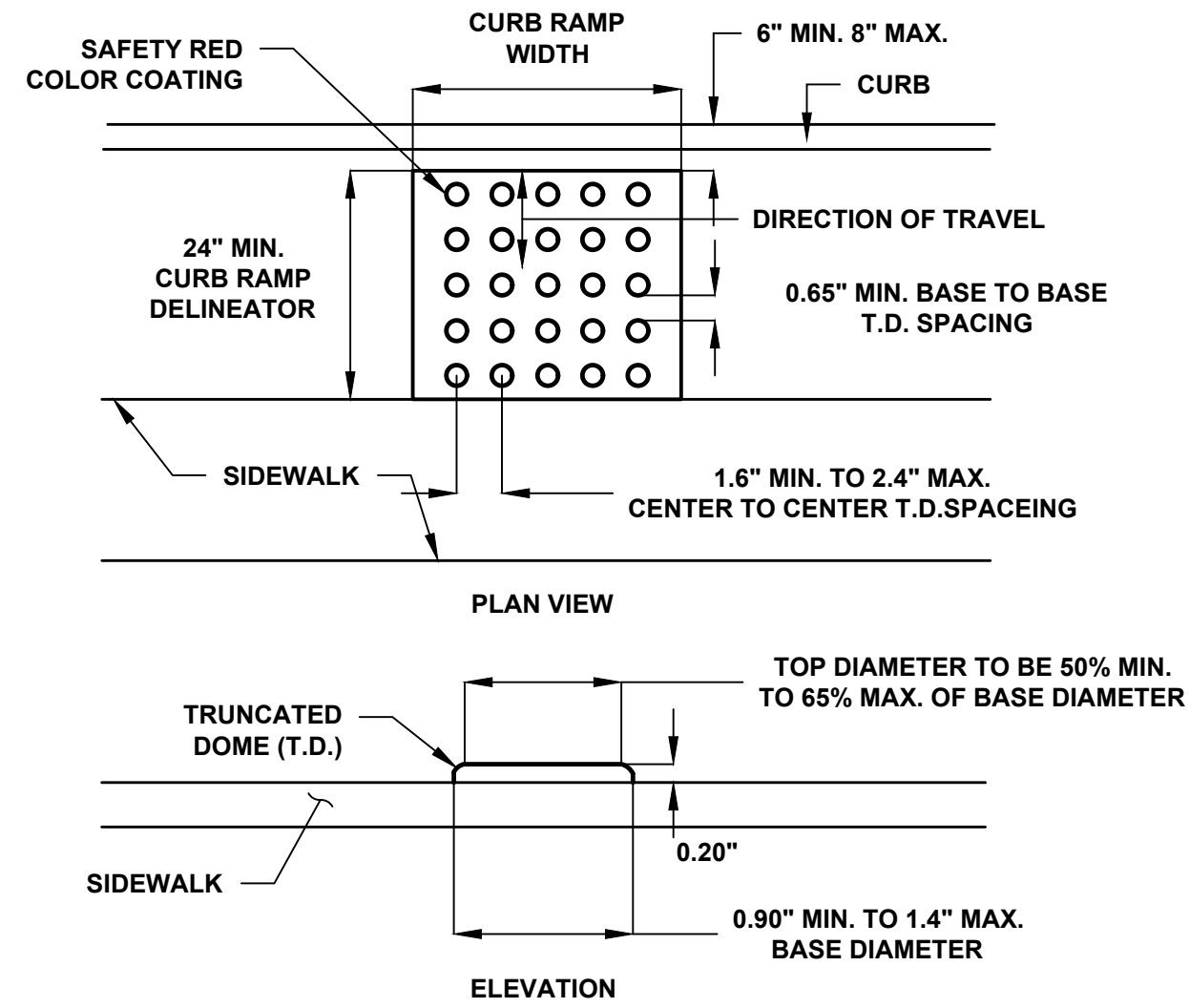
CONCRETE CURB EXPANSION JOINT

N.T.S.



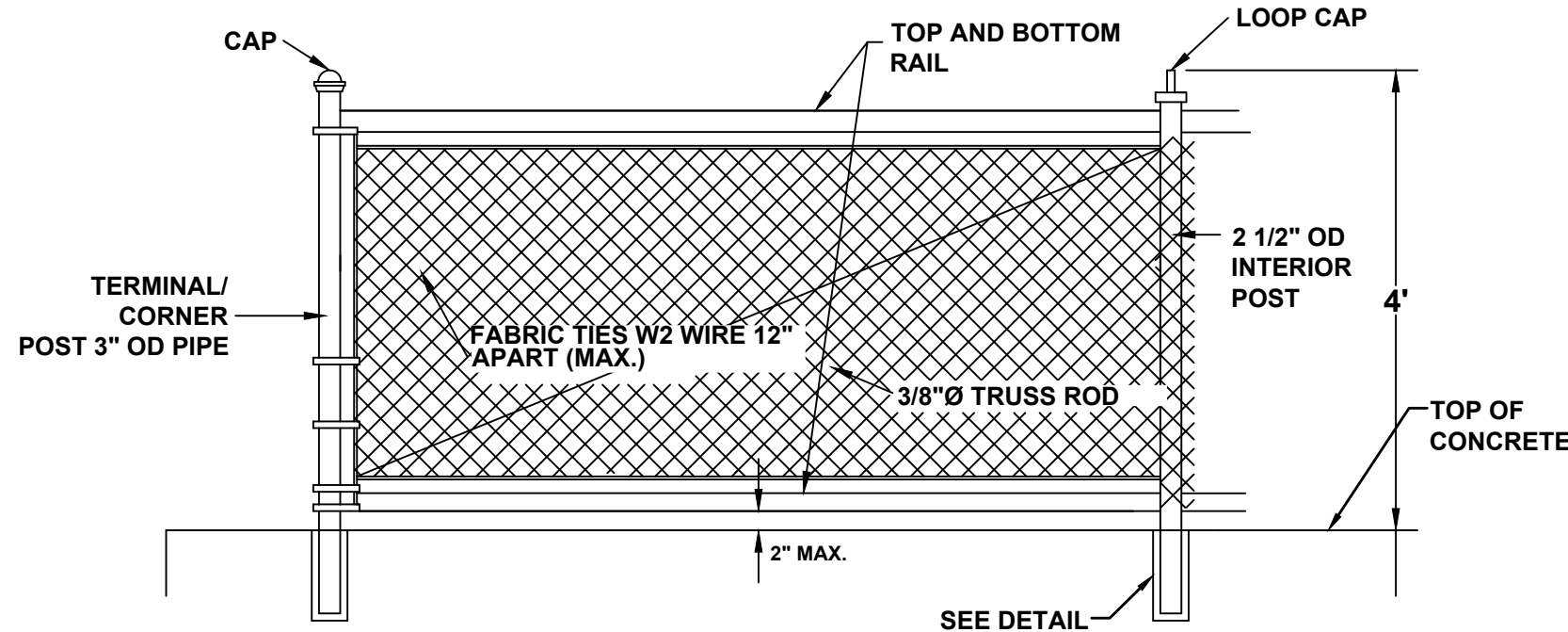
HOT MIX ASPHALT PAVEMENT

N.T.S.



TRUNCATED DOMES  
DETECTABLE WARNING SURFACE

N.T.S.



FENCE NOTES:

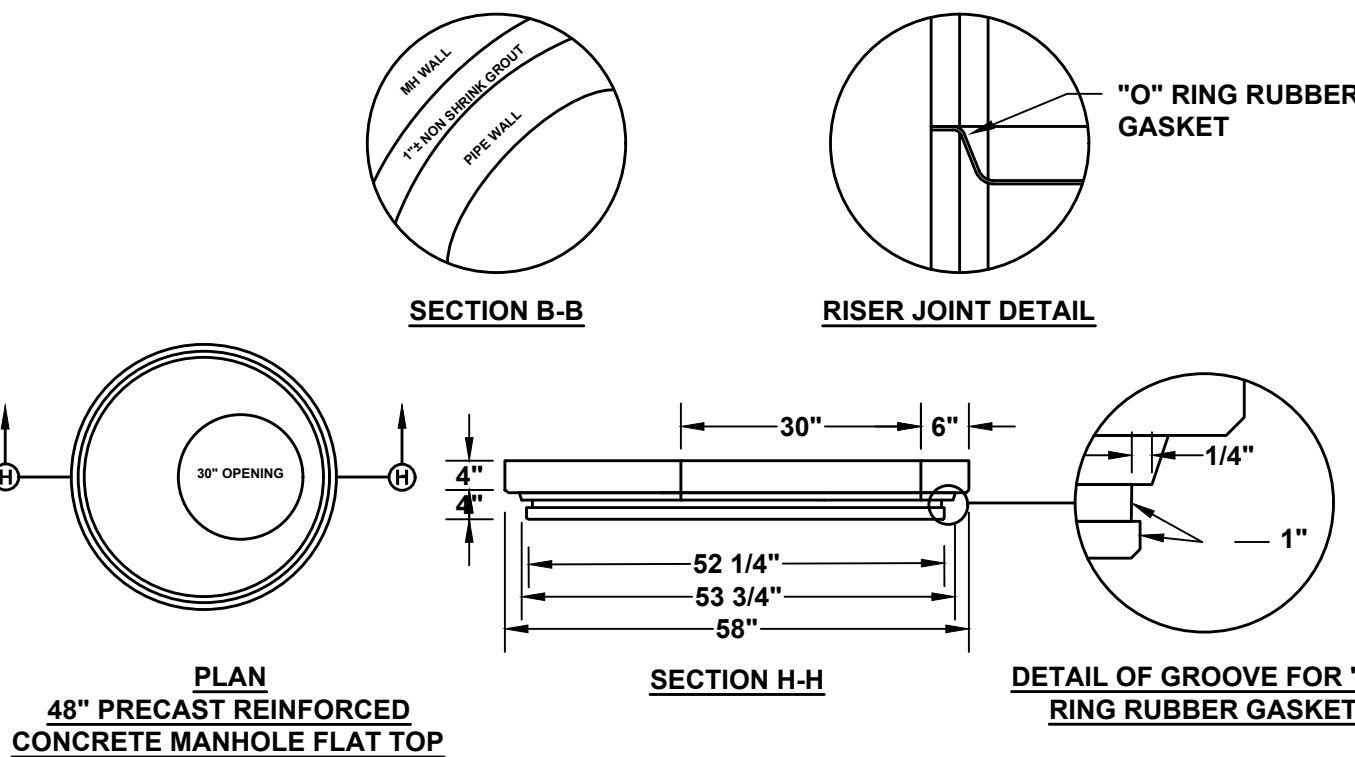
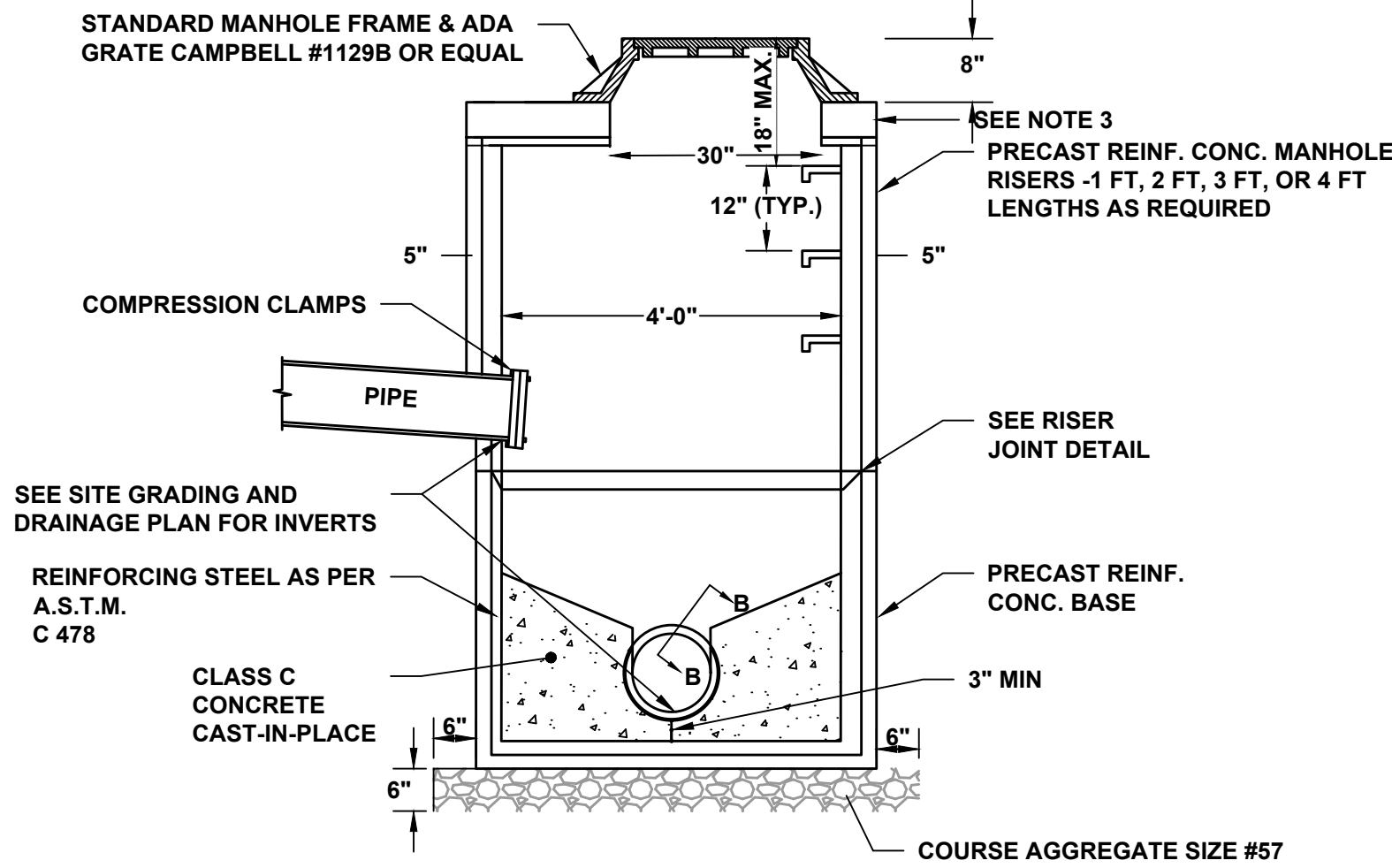
- VINYL COATED BLACK CHAIN - LINK FENCE FABRIC, POSTS, RAILS, TIES, BANDS, BARS, RODS, AND OTHER FITTINGS AND HARDWARE SHALL CONFORM TO AASHTO M181.
- POSTS TERMINAL, CORNER & GATE 3" OD .203" WALL LINE POSTS 2 1/2" OD .154" WALL TOP OR BOTTOM RAIL 1 5/8" OD .140" WALL SHAPES OTHER THAN ROUND MAY NOT BE USED.
- FABRIC SHALL BE 9-GAUGE CORE WIRE, 2" MESH, PVC COATED.
- FENCE TO BE INSTALLED ON TOP OF CONCRETE RETAINING WALL PER DETAIL SHOWN ON PLANS OR OTHER APPROVAL METHOD.
- BRACE BANDS AND STRETCHER BAR BANDS SHALL BE FURNISHED WITH 5/16" DIA CARRIAGE BOLTS AND ELASTIC STOP NUTS.

VINYL CHAIN-LINK FENCE, 4' HIGH

N.T.S.

GENERAL SIGN NOTES:

- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- TWO PIECE STEEL U-POSTS SHALL BE EMBEDDED 3'-8" MINIMUM ONE PIECE STEEL U-POSTS SHALL BE EMBEDDED 3'-6" MAXIMUM
- ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT ATSM A123.
- POSTS MAY BE STEEL OR 2 PIECE STEEL U-POST IN CONFORMANCE WITH THE NOTES BELOW.
- SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBER AS SHOWN ON THIS DETAIL.
- BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
- THE MINIMUM VERTICAL CLEARANCE REQUIREMENTS FOR SIGNS ARE: EDGE OF PAVEMENT TO BOTTOM OF SIGN SHALL BE IN ACCORDANCE WITH THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS." GROUNDLINE TO BOTTOM OF SIGN SHALL BE 7' MINIMUM. FOR SINGLE POST INSTALLATIONS, THE MINIMUM DISTANCE FROM GROUNDLINE TO THE TOP OF SIGN MUST BE 9'. THE FINAL HEIGHT OF ALL SIGNS MUST MEET OR EXCEED ALL OF THE ABOVE REQUIREMENTS.
- PERMANENT SIGN SUPPORTS SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 10:1, UNLESS BEHIND A TRAFFIC BARRIER, AND THE SLOPE SHALL EXTEND A MINIMUM OF ONE METER BEYOND THE OUTSIDE EDGE OF SIGN (SEE GRADING DETAIL FOR SLOPE TREATMENT).
- EXTRUDED ALUMINUM SIGN PANELS ARE NOT PERMITTED FOR USE WITH U-POST SIGN SUPPORTS.
- U-POST SIGN SUPPORTS SHALL NOT BE PLACED IN FRONT OF GUIDE RAIL AND THE POSTS MUST NOT STRADDLE GUIDE RAIL.
- TO EXTEND THE HEIGHT OF A SIGN POST, A MAXIMUM OF ONE SPLICE MAY BE MADE AND MUST BE A MINIMUM OF 9' FROM THE GROUNDLINE TO CENTER LINE OF SPLICE.

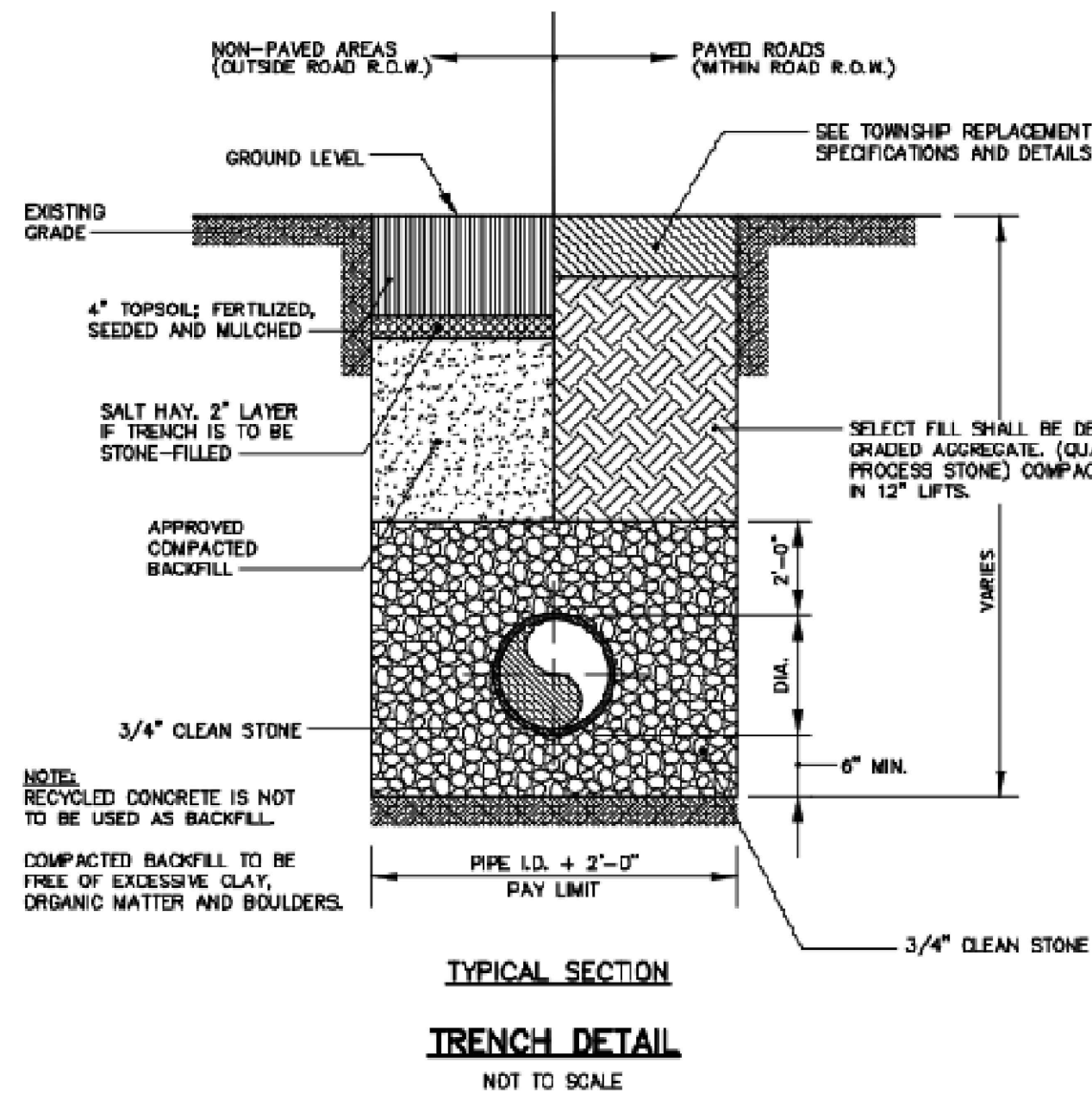


NOTES:

- MANHOLES MAY BE CONSTRUCTED OF CONCRETE OR PRECAST CONCRETE.
- CASTING OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF CONCRETE BLOCK, AS REQUIRED, 6" MIN. FOR FUTURE MODIFICATION AND 12" MAX.
- EXISTING MANHOLES AND INLETS DESIGNATED FOR RESETTling OR RECONSTRUCTION SHALL RECEIVE NEW BICYCLE SAFE FRAMES AND GRATES.

STORM MANHOLE

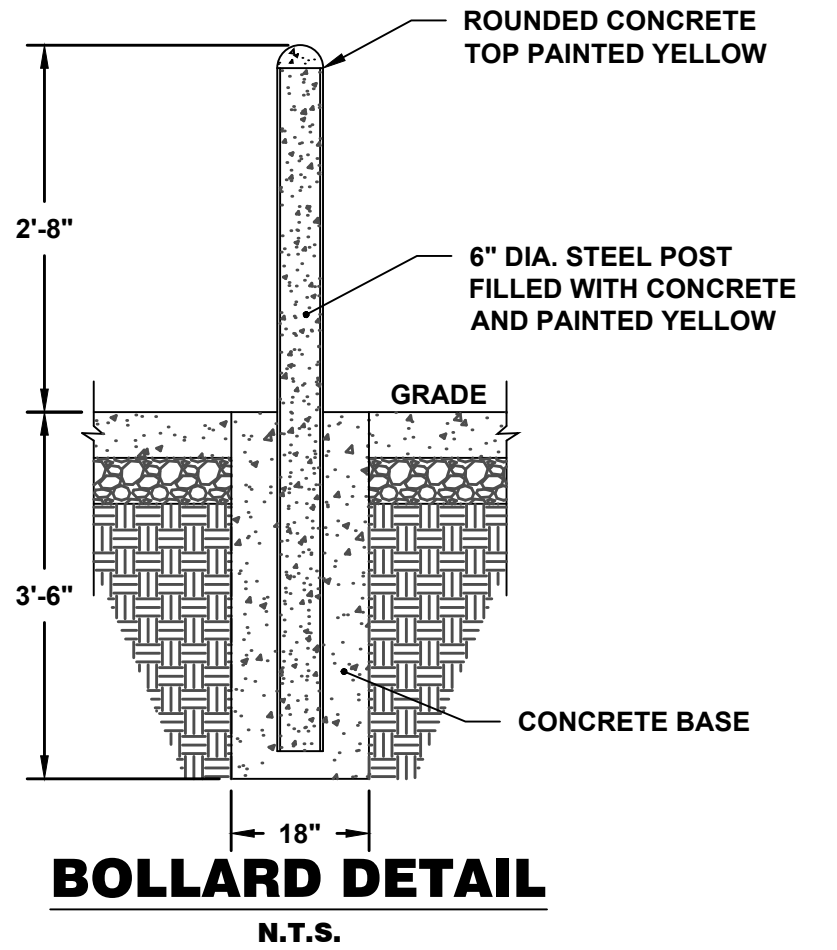
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TYPICAL SECTION

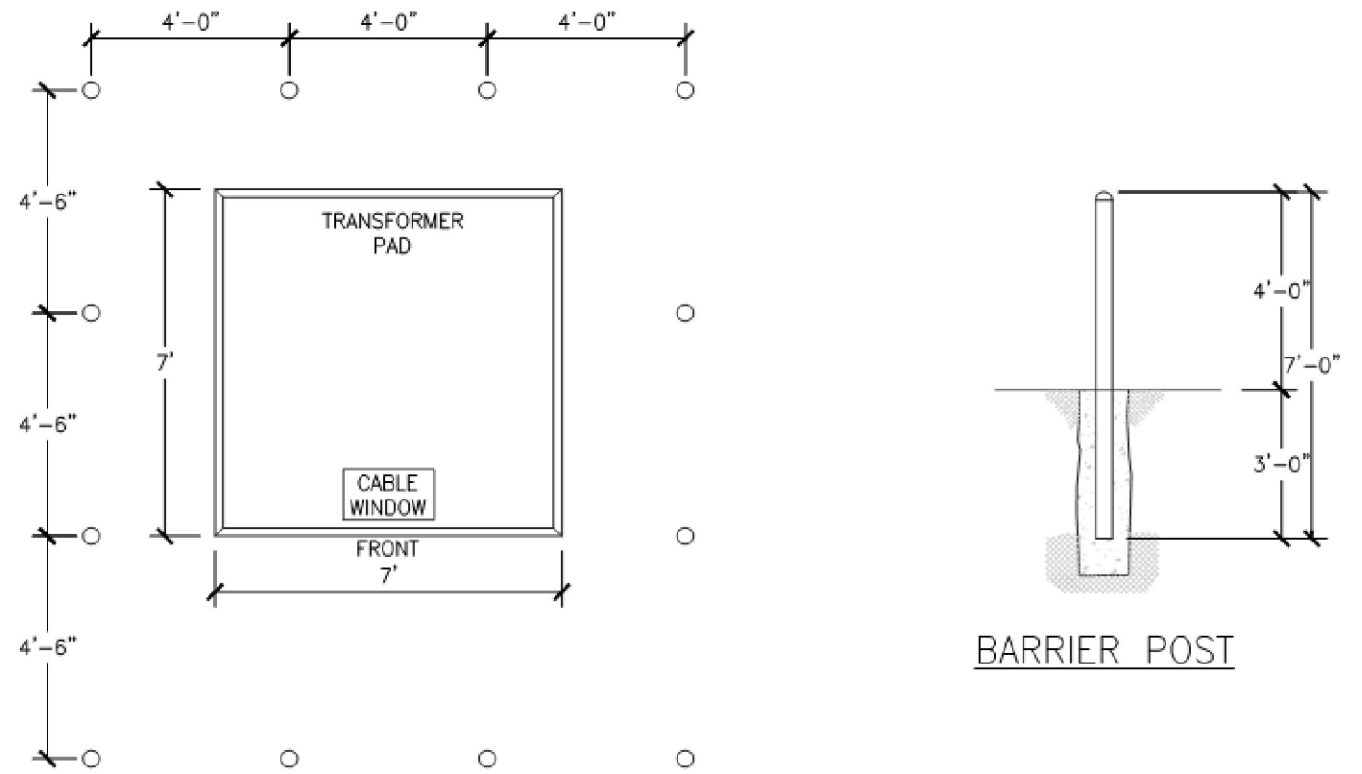
TRENCH DETAIL

NOT TO SCALE



BOLLARD DETAIL

N.T.S.



NOTES:

- WHERE A PAD-MOUNTED TRANSFORMER INSTALLATION IS EXPOSED TO VEHICULAR TRAFFIC AND/OR SNOW PLOWING EQUIPMENT, A BARRIER SHALL BE INSTALLED.
- THE BARRIER POSTS SHALL BE 7 FEET IN LENGTH, 4 IN. MINIMUM DIAMETER GALVANIZED STEEL (OR PAINTED STEEL) PIPE FILLED WITH CONCRETE. THE POSTS SHALL BE SET AT A DEPTH OF 3 FEET BELOW FINAL GRADE, AND ENCASED IN A 12 INCH DIAMETER CONCRETE BASE.
- CENTER POSTS IN FRONT OF THE TRANSFORMER MUST BE ABLE TO BE REMOVED FOR ACCESS TO THE CABLE COMPARTMENT.

TYPICAL BOLLARD INSTALLATION

(N.T.S.)

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| DRAWN BY:   | JNP |
| CHECKED BY: | BMD |
| CHECKED BY: |     |

ERIN B. ABLINE, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE05524500

DATE: 11/03/2023

DAREN J. PHIL, PE  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03619100

DATE: 11/03/2023



SUBURBAN CONSULTING ENGINEERS, INC.

COA NO. 24CA28037500  
21NTH00049204

- Civil Engineers - Municipal Engineers -  
- Landscape Architects -  
- Planners - Environmentalists - Land Surveyors -

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Hackensack, NJ 07601 - 201.646.1776

EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR  
**FRATELLI BERETTA**  
**650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3**  
**TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY**

CONSTRUCTION DETAILS I

PROJECT NUMBER:  
SCE-12449.011

SCALE:  
AS NOTED

SHEET 7 OF 8

REVISION



G:\Engineering\SCE\Mt Olive\12449.011 Mt Olive\Sheets\12449.011 7-8 Construction Details.dwg Mon, Nov 13, 2023 - 4:50pm agroschal SUBURBAN CONSULTING ENGINEERS, INC.

LANDSCAPE ARCHITECTURAL NOTES

GENERAL NOTES

- THIS PLAN TO BE USED FOR LANDSCAPE DEVELOPMENT PURPOSES ONLY.
- EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING.
- IN THE EVENT THAT PLANT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANTING SCHEDULE, THE PLAN SHALL SUPERSEDE.
- ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE LOCAL MUNICIPAL ORDINANCES AND ANSI Z-60.1 (CURRENT VERSION). IN THE EVENT OF CONFLICTS BETWEEN A.A.N. AND MUNICIPAL STANDARDS, THE MUNICIPAL REQUIREMENTS SHALL SUPERSEDE.
- ALL LANDSCAPING SHALL BE PLANTED AS TO NOT TO INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, UNDERGROUND UTILITIES, OR PUBLIC WALKWAYS OR OTHER EXISTING OR PROPOSED STRUCTURES. ALL PLANT MATERIAL REQUIRED IN SIGHT TRIANGLES OR SIGHT TRIANGLE SHALL NOT EXCEED A MATURE HEIGHT GREATER THAN 30" ABOVE THE ELEVATION OF THE ADJACENT ROADWAY. STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESSSES, OR WITHIN REQUIRED SIGHT DISTANCES OR SIGHT TRIANGLE EASEMENTS SHALL NOT BE BRANCHED ANY LOWER THAN 8'-0" ABOVE GRADE, AND MUST BE APPROPRIATELY PRUNED. NO WOODY PLANTS, EXCEPT GROUND COVERS, ARE TO HAVE THEIR CENTERS CLOSER THAN 36" TO THE BACK OF THE CURB.
- ALL DISTURBED LAWN AREAS SHALL BE SEEDED AND FERTILIZED WITH A SUNSHADE MIXTURE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL PLANTING AREAS SHALL MULCHED PER SPECIFICATION REQUIREMENTS.

PLANT MATERIAL

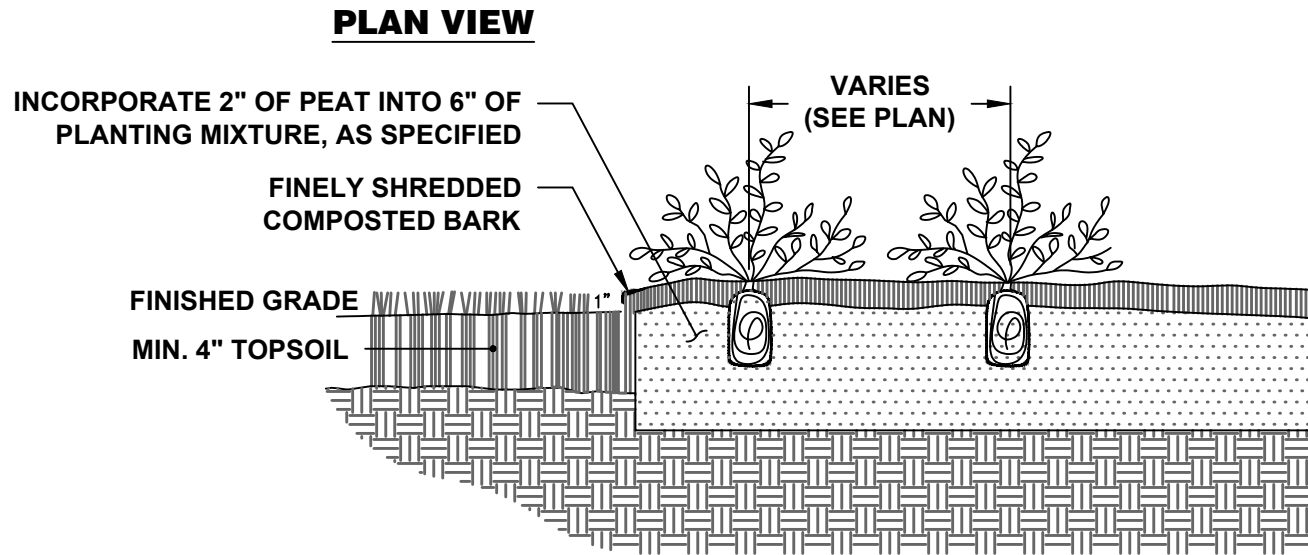
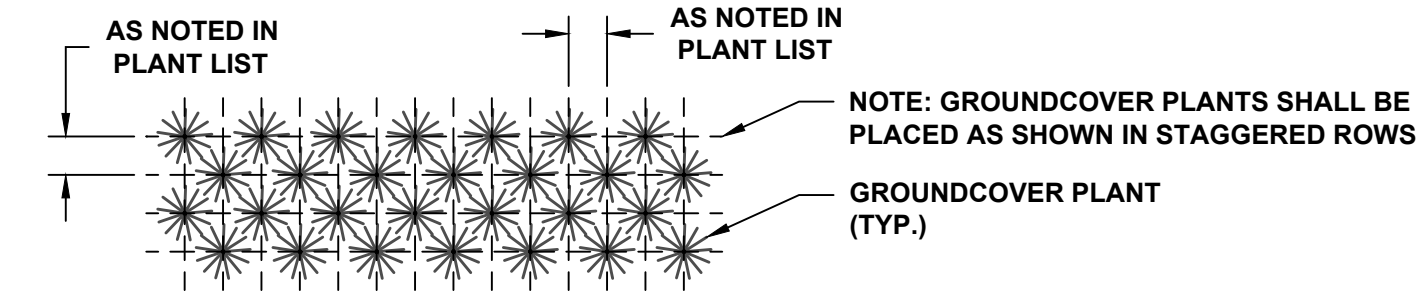
- NO PLANT SUBSTITUTION SHALL BE ALLOWED WITH REGARD TO SIZE, SPECIES, NAMED VARIETY OR CULTIVAR WITHOUT PRIOR PERMISSION OF THE PROJECT LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS SHALL BE DUG, PACKED, TRANSPORTED AND HANDLED WITH THE UTMOST CARE TO ENSURE ADEQUATE PROTECTION FROM INJURY OR DESICCATION.
- ALL PLANTS SHALL BE FREE FROM DISEASE AND INFESTATION, AND HAVE ALL LEGALLY REQUIRED AGRICULTURAL CERTIFICATIONS.
- ALL PLANTS SHALL BE PRUNED TO ENHANCE VIGOR PRIOR TO OR UPON INSTALLATION WHILE RETAINING NATURAL GROWTH HABIT OF THE PLANTS. THE CENTRAL LEADER SHALL NOT BE CUT; PLANTS PROVIDED IN THIS CONDITION SHALL NOT BE ACCEPTED. DAMAGED, BROKEN, OR CONFLICTING BRANCHES SHALL BE PRUNED CLEANLY, FLUSH WITH THE MAIN TRUNK OR BRANCH.
- ALL PLANTS SHALL BE NURSERY-GROWN AND TAGGED WITH A DURABLE LABEL INDICATING THE GENUS, SPECIES AND SPECIFIED VARIETY OR CULTIVAR.
- TREE WIRES AND STAKES (WHERE REQUIRED) SHALL BE REMOVED ONE YEAR AFTER INSTALLATION DATE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM OF ONE YEAR. CONTRACTOR SHALL REPLACE ANY DEAD OR DYING PLANTS IN KIND.

PLANTING

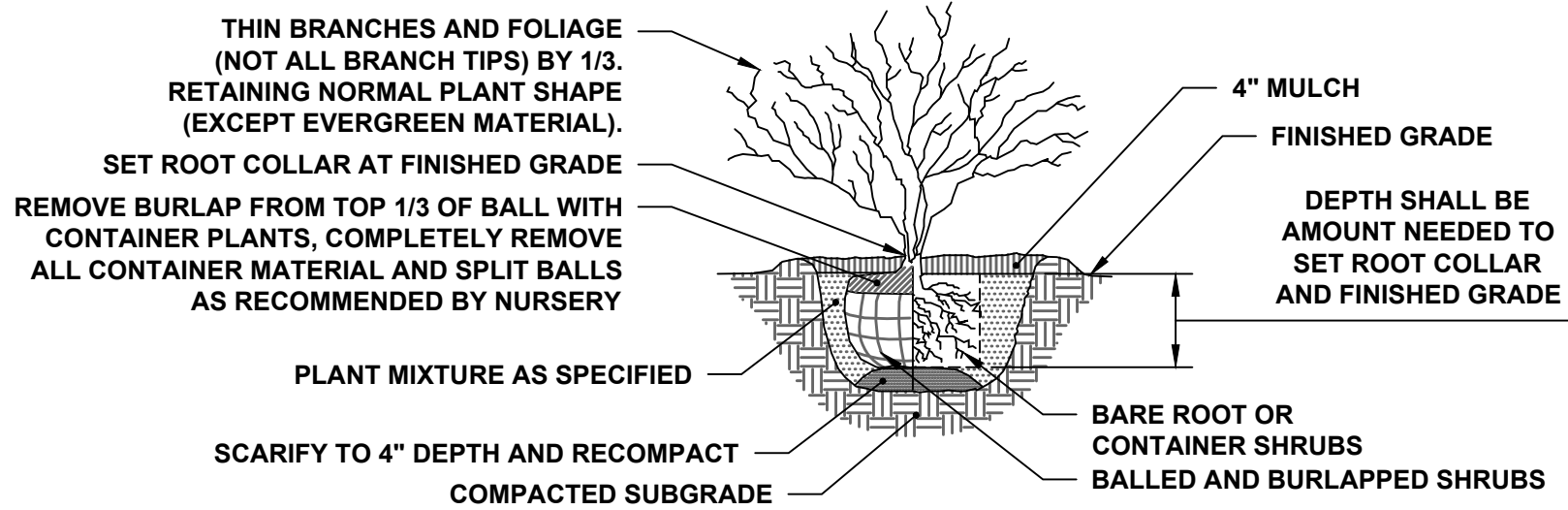
- SOIL MUST BE FROST-FREE, FRIABLE AND NOT MUDDY AT THE TIME OF PLANTING.
- ALL PROPOSED TREE PLANTING PITS SHALL BE OVEREXCAVATED TO A MIN. 3x ROOT BALL DIA. AND BACKFILLED WITH PLANTING MIX PER NOTE 3 AND PLANTING DETAILS AND SPECIFICATIONS.
- AMENDED TOPSOIL PLANTING MIX BACKFILL MATERIAL FOR PLANTING PITS SHALL BE COMPOSED OF 70% TOPSOIL, 20% FULLY COMPOSTED COW OR HORSE MANURE AND 10% PEAT MOSS. SUBSOIL PLANTING MIX BACKFILL MATERIAL SHALL BE COMPOSED OF 50% TOPSOIL AND 50% SAND. TOPSOIL SHALL MEET NJDOT 1999 STANDARD SPECIFICATIONS SECTION 909.10 AND MAY BE FROM ON-SITE OR IMPORTED SOURCES. SOIL SHALL CONTAIN NO ACIDIC MARL, NOR ANY LARGE STONES.
- PLANTS SHALL BE SET TO ULTIMATE FINISHED GRADE SO THAT THEY WILL BE LEFT IN THE RELATIONSHIP TO THE SURROUNDING GROUND AS THEY HAD, PRIOR TO BEING DUG. PLANTS SHALL BE SET SO THAT THEIR CROWNS ARE APPROXIMATELY THREE INCHES ABOVE THE FINAL GRADE WITH ROOT TOPSOIL AND MULCH GENTLY MOUNDED TO AVOID EXCESSIVE DRYING AT THE SURFACE. UNDER NO CIRCUMSTANCES SHALL PLANTINGS AT RELATIVELY DRY LOCATIONS BE PERFORMED IN A MOUNDED MANNER.
- THE CORD BINDING THE BALL OF ALL BALLED AND BURLAPPED (B&B) PLANTS SHALL BE CUT AND REMOVED, AND BURLAP ON THE UPPER 1/3 OF THE ROOT BALL SHALL BE REMOVED. PLANTS WITH SYNTHETIC NON-DEGRADABLE ROOT BALL WRAPS SHALL NOT BE ACCEPTABLE. WIRE BASKETS SHALL HAVE TOP 1/2 OF BASKET REMOVED PRIOR TO BACKFILLING.
- ALL PROPOSED TREES SHALL BE SET IN BEDS MULCHED TO THE LIMIT OF THEIR PLANTING PITS. ALL PROPOSED SHRUBS SHALL BE SET IN CONTINUOUS MASSES PLANTING BEDS RATHER THAN ISOLATED INDIVIDUALS. ALL TREE, SHRUB, AND PERENNIAL/GRASS BEDS SHALL RECEIVE A 4" THICK APPLICATION OF A THOROUGHLY COMPOSTED ORGANIC MULCH, FREE OF ANY OBJECTIONABLE OR FOREIGN MATERIALS, WITH THE EXCEPTION OF PLANTING BEDS WITHIN THE BEACH SAND AREA. PLANTING BEDS WITHIN THE BEACH SAND AREA SHALL RECEIVE A 4" THICK APPLICATION OF SAND.

MAINTENANCE

- ALL PLANTINGS SHALL BE WATERED AS NECESSARY FOLLOWING SOUND HORTICULTURAL PRACTICE DURING THE FIRST GROWING SEASON TO ENSURE THEIR PROPER ESTABLISHMENT.
- ALL DISTURBED AREAS BEYOND THE LIMITS OF THE MULCHED PLANTING BEDS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND PERMANENTLY STABILIZED WITH TURFGRASSES WITH A SEED MIX BLEND APPROPRIATE FOR SUN AND SHADE LOCATIONS.
- IN GENERAL, SHRUBS ARE TO BE PLANTED AT INTERVALS WHICH WILL ALLOW THEM TO FULLY DEVELOP INTO CONTINUOUS MASSES OF THE INDIVIDUAL SPECIES. THEREFORE, NO PRUNING TO SHAPE OR SHEARING IS REQUIRED OR DESIRABLE. WHERE DEAD OR CONFLICTING BRANCHING DEVELOPS, IT SHOULD BE PRUNED OUT.
- ALL TREES SHALL HAVE "GATOR BAGS" INSTALLED ON THEM AND SHALL BE KEPT FULL OF WATER TO ENSURE PROPER HYDRATION OF THE PLANT MATERIAL FOR THE FIRST TWO GROWING SEASONS.



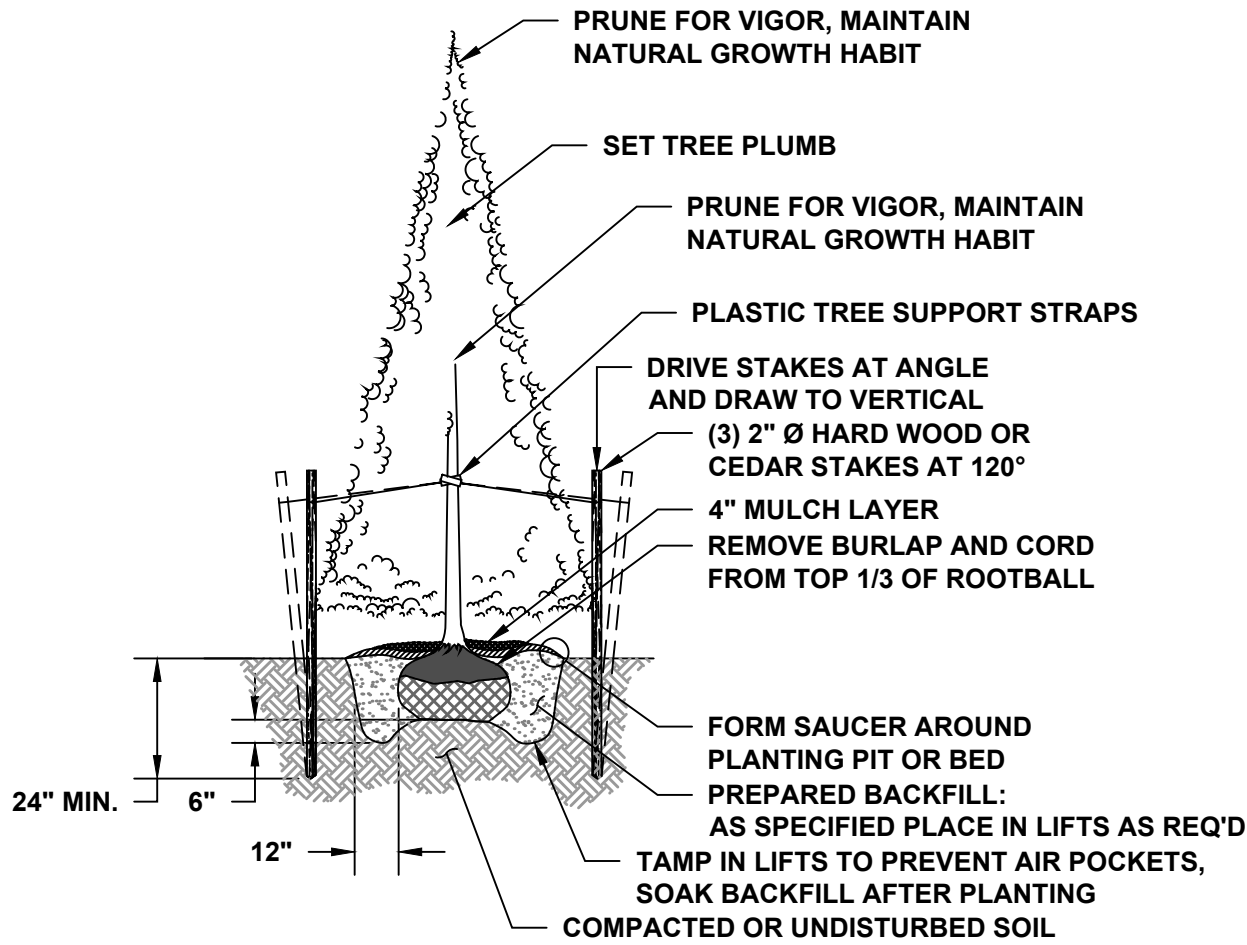
GROUNDCOVER/PERENNIAL  
PLANTING DETAIL  
N.T.S.



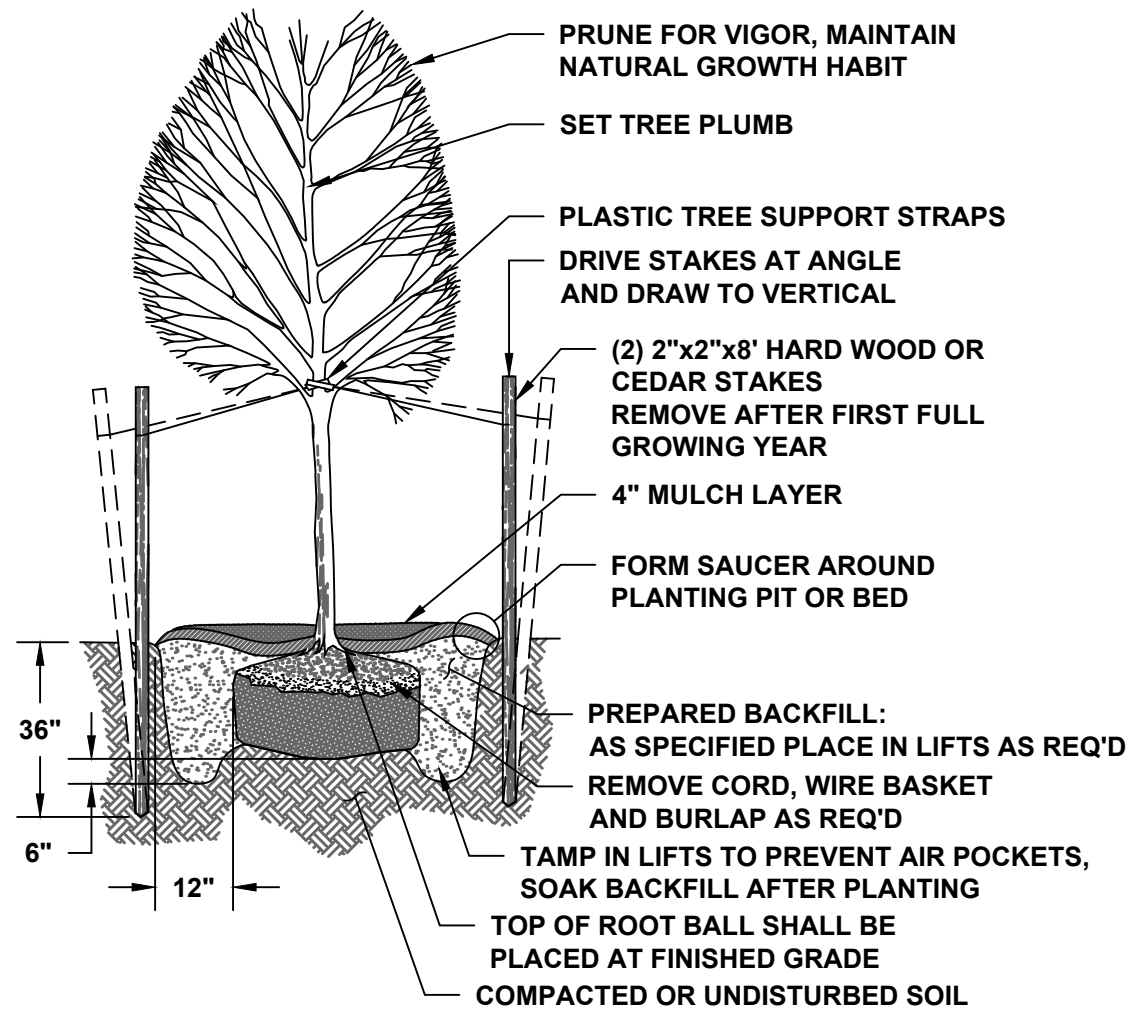
NOTES:

- MAINTAIN SAME GROUND LINE AS IN NURSERY.
- DO NOT PRUNE EVERGREEN SHRUBS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.

SHRUB/GRASS PLANTING DETAIL  
N.T.S.



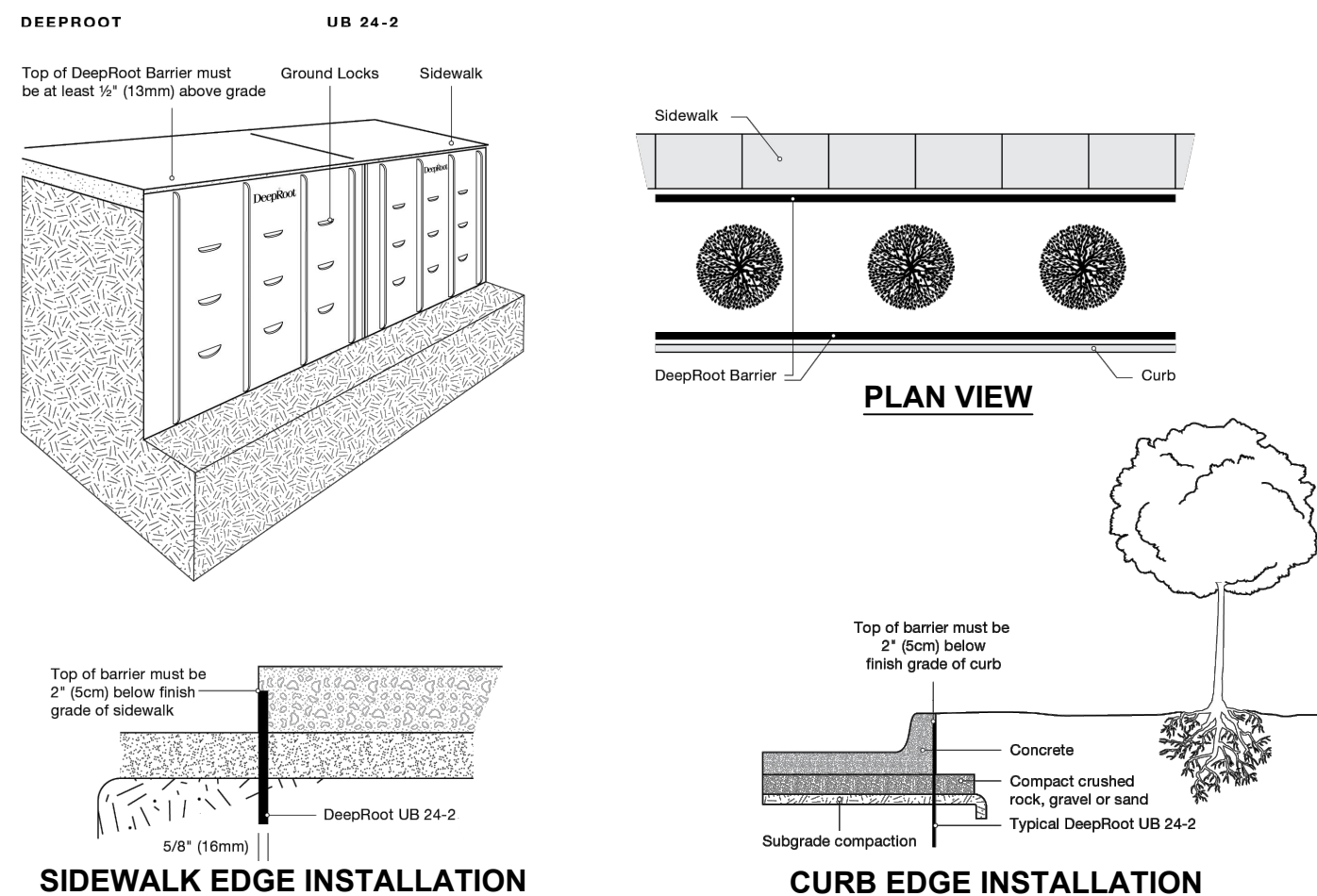
CONIFEROUS TREE PLANTING  
N.T.S.



NOTE:

CONTRACTOR SHALL SUPPLY AND INSTALL GATOR BAGS ON ALL TREE MATERIAL.

DECIDUOUS TREE PLANTING  
N.T.S.



ROOT BARRIER  
N.T.S.

|   |  |  |  |  |
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| CHECKED BY:<br>PDC<br>11/03/2023 |
| CHECKED BY:                      |

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|---|
| <b>ERIN B. ABLINE, PE</b><br>NJ PROFESSIONAL ENGINEER<br>LICENSE NO. 24GE05524500 |
| DATE: 11/03/2023  |

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| <b>DAREN J. PHIL, PE</b><br>NJ PROFESSIONAL ENGINEER<br>LICENSE NO. 24GE03619100 |
| DATE: 11/03/2023   |

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| <b>SCE</b><br>SUBURBAN CONSULTING ENGINEERS, INC.<br>COA NO.: 24CA28037500<br>21N110004520                                 |   |
| - Civil Engineers - Municipal Engineers -<br>- Landscape Architects -<br>- Planners - Environmentalists - Land Surveyors - | 96 US Highway 206, Suite 101<br>Hlanders, NJ 07836 - 973.398.1776 |
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|---|
| <b>AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR</b><br><b>FRATELLI BERETTA</b><br><b>650 INTERNATIONAL DRIVE, BLOCK 107 LOT 3</b><br><b>TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, STATE OF NEW JERSEY</b> |
| <b>CONSTRUCTION DETAILS II</b>  |

|                                  |
|----------------------------------|
| PROJECT NUMBER:<br>SCE-12449.011 |
| SCALE:<br>AS NOTED               |
| SHEET <u>8</u> OF <u>8</u>       |
| REVISION <u>  </u>               |