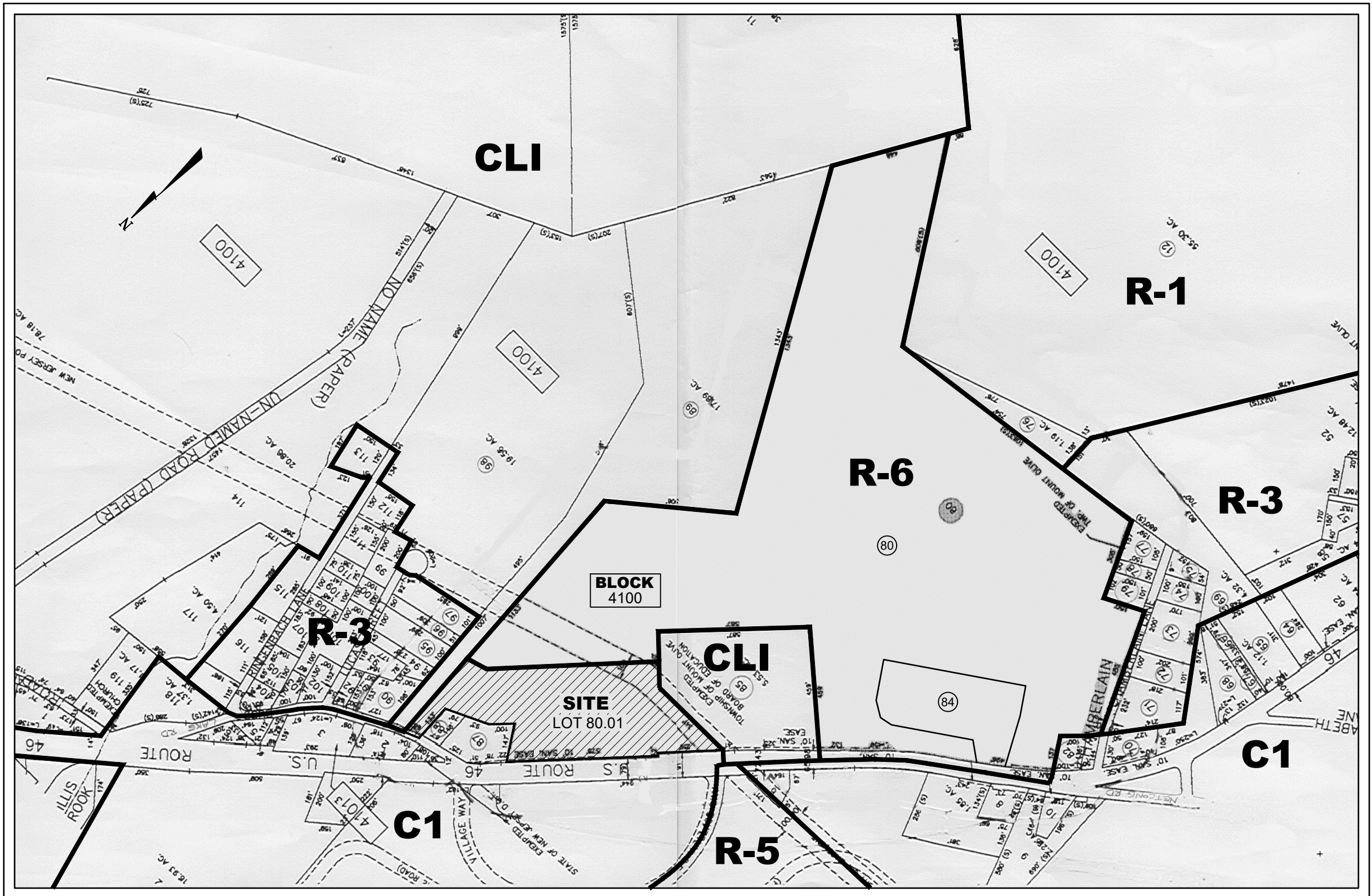
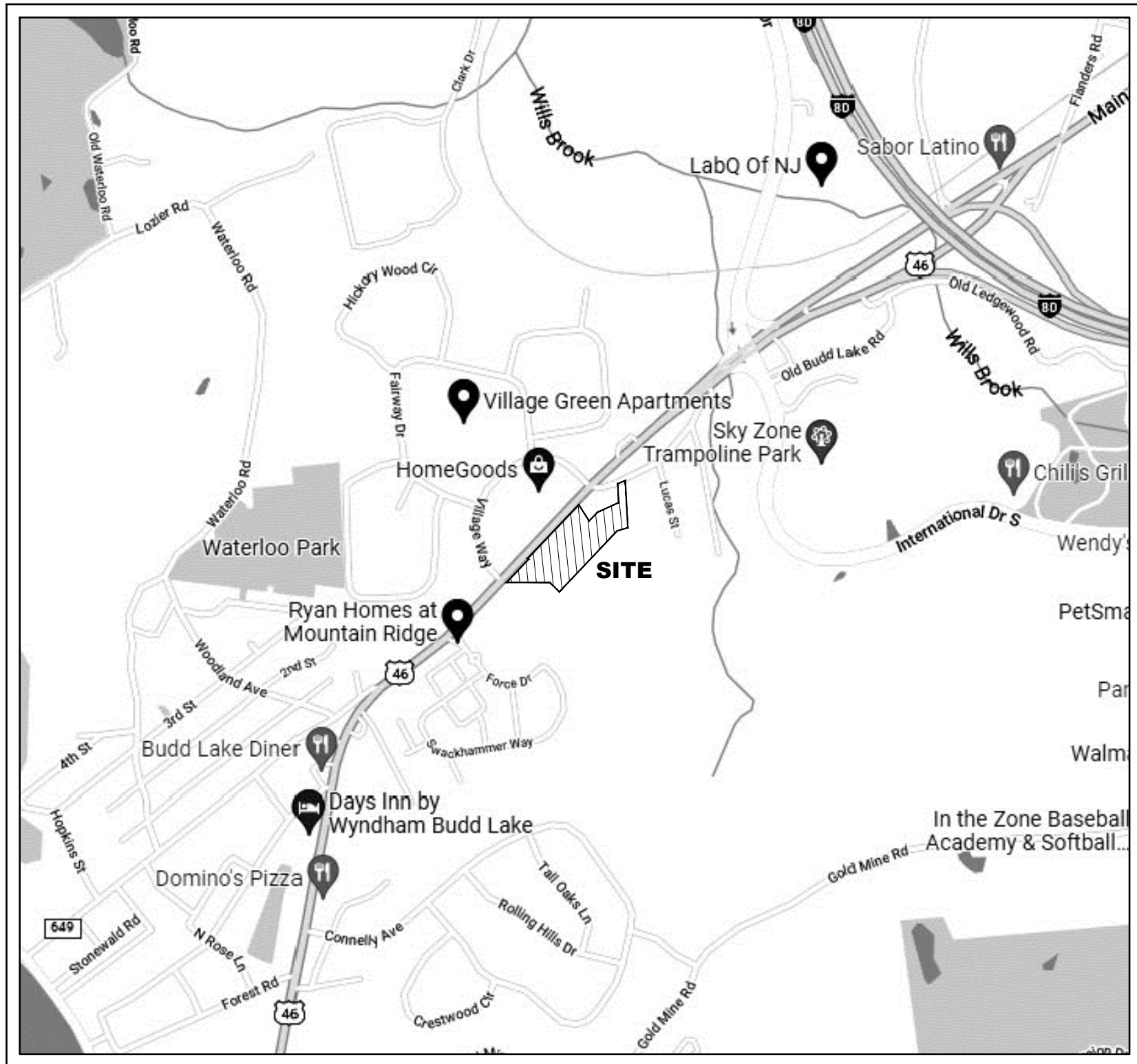


PRELIMINARY/FINAL SITE PLAN
FOR
RETAIL PLAZA
BLOCK 4100, LOT 80.01, RT 46 MILEPOST 28.75±
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY



CERTIFIED LIST OF PROPERTY OWNERS WITHIN 200' (N.J.S.A.40:55D-12)

PROPERTY OWNERS LIST CERTIFIED BY JACK MARCHIONE, TAX ASSESSOR. DATE: JANUARY 23, 2023

MT OLIVE TOWNSHIP					MT OLIVE TOWNSHIP				
BLOCK 4100, LOT 80.01					BLOCK 4100, LOT 80.01				
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	BLOCK	LOT	QUAL	CLA
102	2		1	MT MOUNT OLIVE LLC % RD MANAGEMENT	56 ROUTE 46	4100	91		2
				810 SEVENTH AVE., 10TH FL	10019				
				NEW YORK, NY					
102	3		4A	MND CAPITAL LLC	58 ROUTE 46	4100	92		2
				12 NORMAN PL	07670				
				TENAFLY, NJ					
102	4	B01	4A	OPN REAL PROPERTIES LLC	100 ROUTE 46	4100	93		2
				1 CEDAR RIDGE DR	07930				
				CHESTER, NJ					
102	4	C01	4C	SDK VILLAGE GREEN LLC % SDK	100 ROUTE 46	4100	94		2
				1124 S RIDGEWOOD AVE #101	07450				
				RIDGEWOOD, NJ					
102	4	C02	4A	SDK VILLAGE GREEN LLC % SDK	100 ROUTE 46	4100	95		2
				1124 S RIDGEWOOD AVE #101	07450				
				RIDGEWOOD, NJ					
102	4	C03	4A	OPN REAL PROPERTIES LLC	84 ROUTE 46	4100	96		2
				98 ROUTE 46	07828				
				BUDD LAKE, NJ					
102	6		2	PATEL, BHAVIN	86 ROUTE 46	4100	97		2
				86 ROUTE 46	07828				
				BUDD LAKE, NJ					
4100	80	C023	1	VUKALKAR, DEVI PRASAD/MAHENDERKAR	6 PECKWELL ST	4100	98		2
				8 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	80	C024	1	GANDHI, THIRUPATHIRAO/KONKANCHI	6 PECKWELL ST	4101	1		15C
				6 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	80	C025	1	RABADROSS, JAYARAMAN/NATARAJAN, GOMR	4 PECKWELL ST	4101	2		1
				4 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	80	C026	1	NVR INC	1 PECKWELL ST	4101	3		4A
				1 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	80	C027	1	NVR INC	3 PECKWELL ST				
				3 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	80	C028	1	NVR INC	5 PECKWELL ST				
				5 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	80	C029	1	NVR INC	7 PECKWELL ST				
				7 PECKWELL ST	07828				
				BUDD LAKE, NJ					
4100	85		1	89 ROUTE 46 STORAGE LLC	89 ROUTE 46				
				157 COLUMBUS AVE, SUITE 2E	10023				
				NEW YORK, NY					
4100	87		4A	ESSCALA REALTY LLC	67 ROUTE 46				
				1 CEDAR RIDGE DR	07930				
				CHESTER, NJ					
4100	88		2	KRANTI, ROHAN/SILPA	48 OLD BUDD LAKE RD				
				1 CEDAR RIDGE DR	07930				
				CHESTER, NJ					
4100	89		15C	MT OLIVE TOWNSHIP	44 OLD BUDD LAKE RD				
				PO BOX 450	07828				
				BUDD LAKE, NJ					
4100	90		2	COLON, RAYMOND F. & MAYRA I.	42 OLD BUDD LAKE RD				
				42 OLD BUDD LAKE RD	07828				
				BUDD LAKE, N.J.					

THE FOLLOWING ENTITIES HAVE REQUESTED THAT THEY BE NOTIFIED OF MATTERS COMING BEFORE THE PLANNING BOARD OR BOARD OF ADJUSTMENT:

Bruce D. Smith
Hackettstown Municipal Utilities Authority
P.O. Box 450
Hackettstown, NJ 07840

R. Albanese
New Jersey Natural Gas
1415 Wyckoff Road
Wall, NJ 07719

Bruce Reynolds
Columbia Gas Transmission Corp
1470 Pothouse Road
Downingtown, PA 19335-342

Mt Olive Township, Water & Sewer Department
P.O. Box 450
204 Flinders-Drakestown Road
Mt Olive, NJ 07828

N.J. Department of Transportation
1035 Parkway Dr CN 600
Trenton, NJ 08625

Public Service Electric & Gas Company
Manager - Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102

New Jersey - American Water Co. Inc
P.O. Box 5627
Cherry Hill, New Jersey 08034

Applied Wastewater Management
2 Clerico Lane
Hillsborough, NJ 08844

SITE ZONING ANALYSIS

LOCATION - ROUTE #46 & OLD BUDD LAKE ROAD
TAX MAP INFORMATION - BLOCK 4100, LOTS 80.01
ZONING - C-1 COMMERCIAL
AREA - 294,674.46 SQ. FT. / 6.765 ACRES
EXISTING - VACANT
PROPOSED - 24,457 SQ. FT. RETAIL PLAZA
ACCESS - PROVIDED VIA RIGHT TURN IN AND RIGHT TURN OUT DRIVEWAY ON RT 46. ALTERNATIVE ACCESS TO OLD BUDD LAKE ROAD

C-1 COMMERCIAL

	REQUIRED	EXISTING	PROPOSED	CONDITION
MIN. LOT AREA	1.0 AC	6.765 AC	6.765 AC	CONFORMING
MIN. LOT WIDTH	200 FT.	737 FT.	737 FT.	CONFORMING
MIN. LOT DEPTH	150 FT.	357 FT.	357 FT.	CONFORMING
MIN. FRONT YARD	75 FT.	N/A	77.45 FT.	CONFORMING
MIN. SIDE YARD	25 FT.	N/A	189.39 FT.	CONFORMING
MIN. REAR YARD	20 FT.	N/A	36.35 FT.	CONFORMING
MAX. BUILDING COVERAGE	30%	N/A	8.30%	CONFORMING
MAX. LOT COVERAGE	60%	N/A	42.55%	CONFORMING
MAX. BLDG HEIGHT, PRINCIPAL	30 FT.	N/A	<30 FT.	CONFORMING
FLOOR AREA RATIO	0.4	N/A	0.083	CONFORMING
PARKING SPACES REQUIRED	4 PER 1,000 SQ. FT. = 98	N/A	116	CONFORMING
PARKING SPACE SIZE	10'x18' OR 9'x20'	N/A	9'x20'	CONFORMING
PARKING AISLE	25'	N/A	25'	CONFORMING
LOADING SPACE	60'X14'	N/A	80'X18'	CONFORMING
HEIGHT OF RETAINING WALL (550-82.A(1))	6'	N/A	20.85'	VARIANCE

DESIGN WAIVERS

- CRITICAL SLOPE AREA DISTURBANCE (550-39.F(2)(a))
ALLOWED: NONE DISTURBED: 2,482 SQ. FT.
- MODERATE SLOPE AREA DISTURBANCE (550-39.F(2)(B))
ALLOWED: 30% (14,015 SQ. FT.) DISTURBED: 34,078 SQ. FT.

REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	



Simoff Engineering Associates

2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.

PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE 07/18/23
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

550-95. SIGN REGULATIONS

	REQUIRED	PROPOSED	CONDITION
BILLBOARD AREA	450 SQ. FT.	378 SQ. FT.	CONFORMING
BILLBOARD HEIGHT (ABOVE RT 46)	25 FT.	25 FT.	CONFORMING
BILLBOARD SETBACK FROM BUILDING	50 FT.	139 FT.	CONFORMING
BILLBOARD SETBACK FROM R.O.W.	20 FT.	20 FT.	CONFORMING
BILLBOARD SETBACK FROM RESIDENTIAL	150 FT.	291/713 FT.	CONFORMING
PYLON SIGN AREA	90 SQ. FT.	90 SQ. FT.	CONFORMING
PYLON SIGN HEIGHT	30 FT.	30 FT.	CONFORMING
PYLON SIGN SETBACK FROM R.O.W.	10 FT.	10 FT.	CONFORMING

LIST OF DRAWINGS

SHEET NUMBER	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	AERIAL PHOTO
4	SITE PLAN
5	GRADING & DRAINAGE PLAN
6	WETLANDS BUFFER ANALYSIS
7	LANDSCAPING PLAN
8	LIGHTING PLAN
9-13	SITE DETAILS
14	SOIL EROSION & SEDIMENT CONTROL PLAN
15	SOIL EROSION & SEDIMENT CONTROL DETAILS
16	PROFILES
17-18	TRUCK CIRCULATION PLAN
19	SLOPE DISTURBANCE ANALYSIS

IT IS HEREBY CERTIFIED THAT THE LANDS SHOWN IN THIS APPLICATION ARE OWNED BY TITLE OF RECORD AND THAT CONSENT OF THE APPROVAL OF SAID APPLICATION IS GIVEN.

APPLICANT / OWNER DATE
HAL SIMOFF - PARTNER

APPROVALS

TOWNSHIP OF MOUNT OLIVE BOARD APPROVALS

CHAIRMAN DATE
SECRETARY DATE

APPLICANT / OWNER

MFC MOUNTAIN RIDGE ESTATES LLC
9 WESTERN DRIVE
COLTS NECK, NJ 07722
PH: 732-547-9194

COVER SHEET

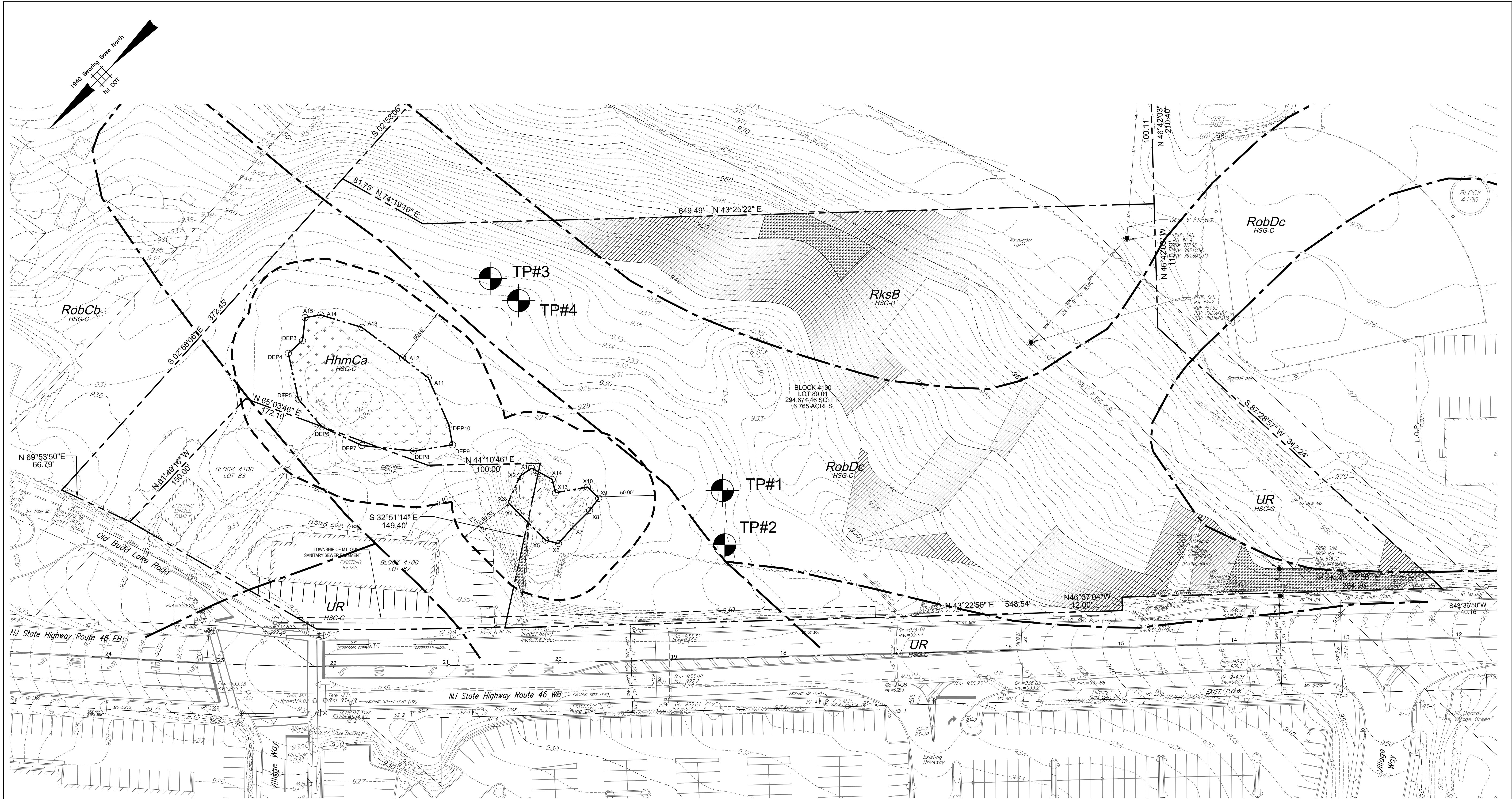
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

SCALE AS INDICATED

DRAWN: GD
CHECKED: HS
FILE No: 21-100

SHEET: 1

OF: 19



- LEGEND**
- PROPERTY LINE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING CONTOURS
 - EXISTING UTILITY POLE
 - EXISTING STREET LIGHT
 - EXISTING SIGN
 - EXISTING TREE
 - EXISTING TREE LINE
 - WETLANDS DELINEATION

SLOPE LEGEND			
RANGE BEGIN	RANGE END	PERCENT OF SITE	AREA (SQ. FT.)
0.00%	15.00%	83.10	244,869
15.00%	25.00%	15.85	46,717
25.00%	100.00%	1.05	5,849

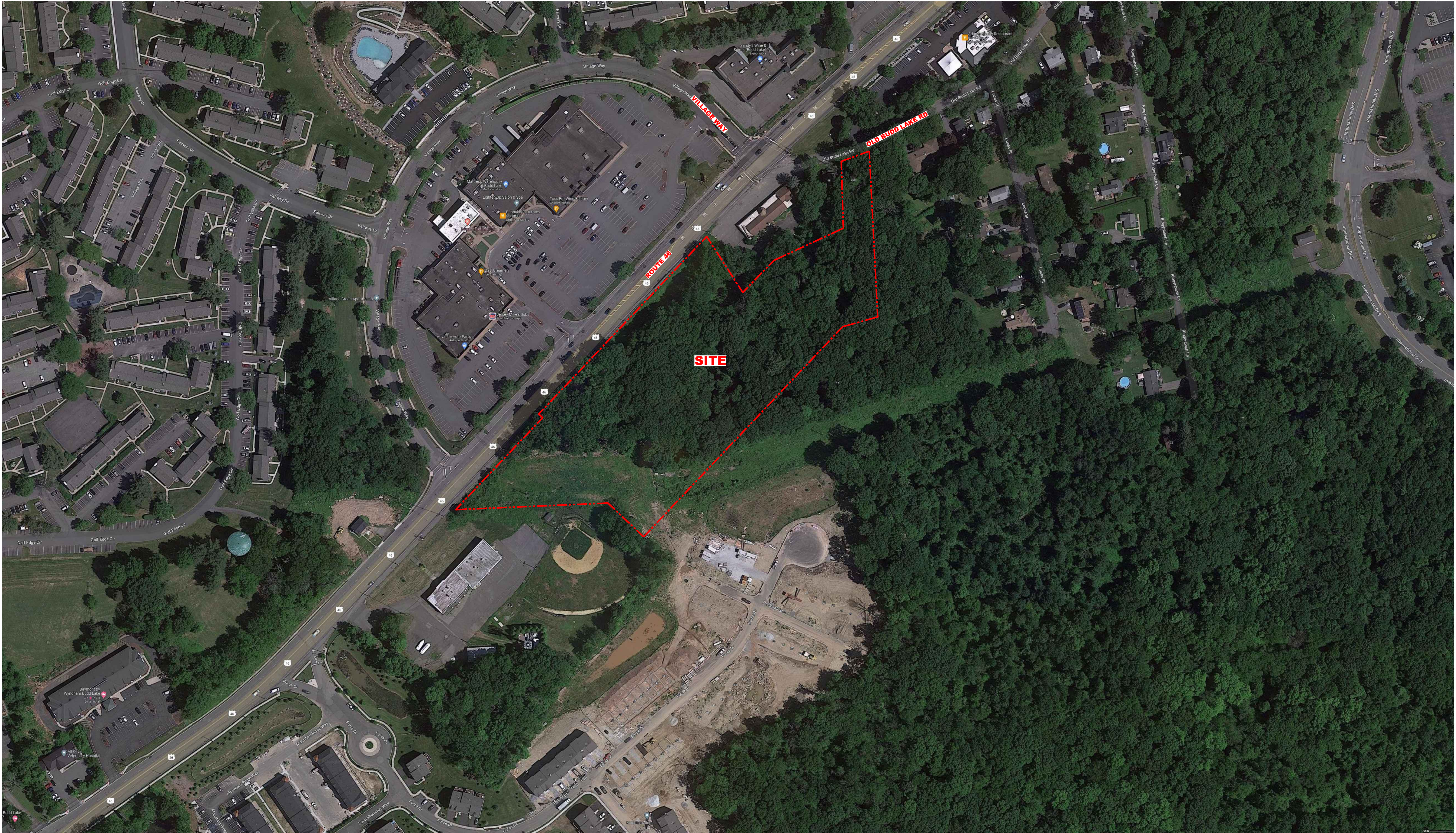
MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE NO. 16-066, DATED JUNE 7, 2002.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC., BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-0018/3 (FWW 140001), DATED: SEPTEMBER 19, 2014. (PENDING UPDATE)

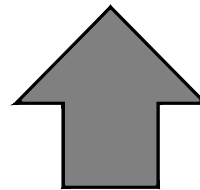
REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	

SEA
Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
07/18/23
PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

EXISTING CONDITIONS PLAN FOR BLOCK 4100, LOT 80.01 MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY		DRAWN: GD CHECKED: HS FILE No: 21-100
SCALE: 1" = 40'		SHEET: 2
GRAPHIC SCALE		OF: 19



NORTH



REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	

SEA

Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.

07/18/23

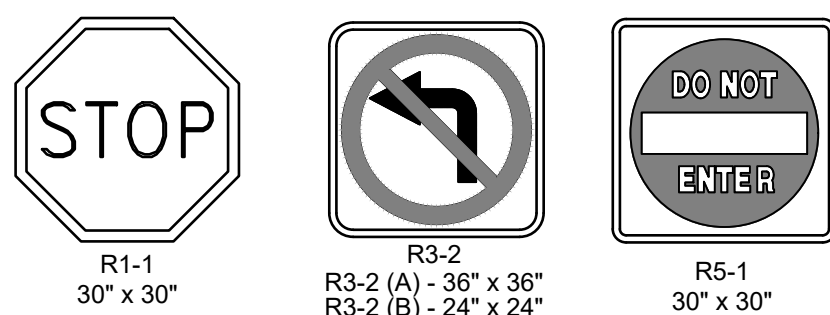
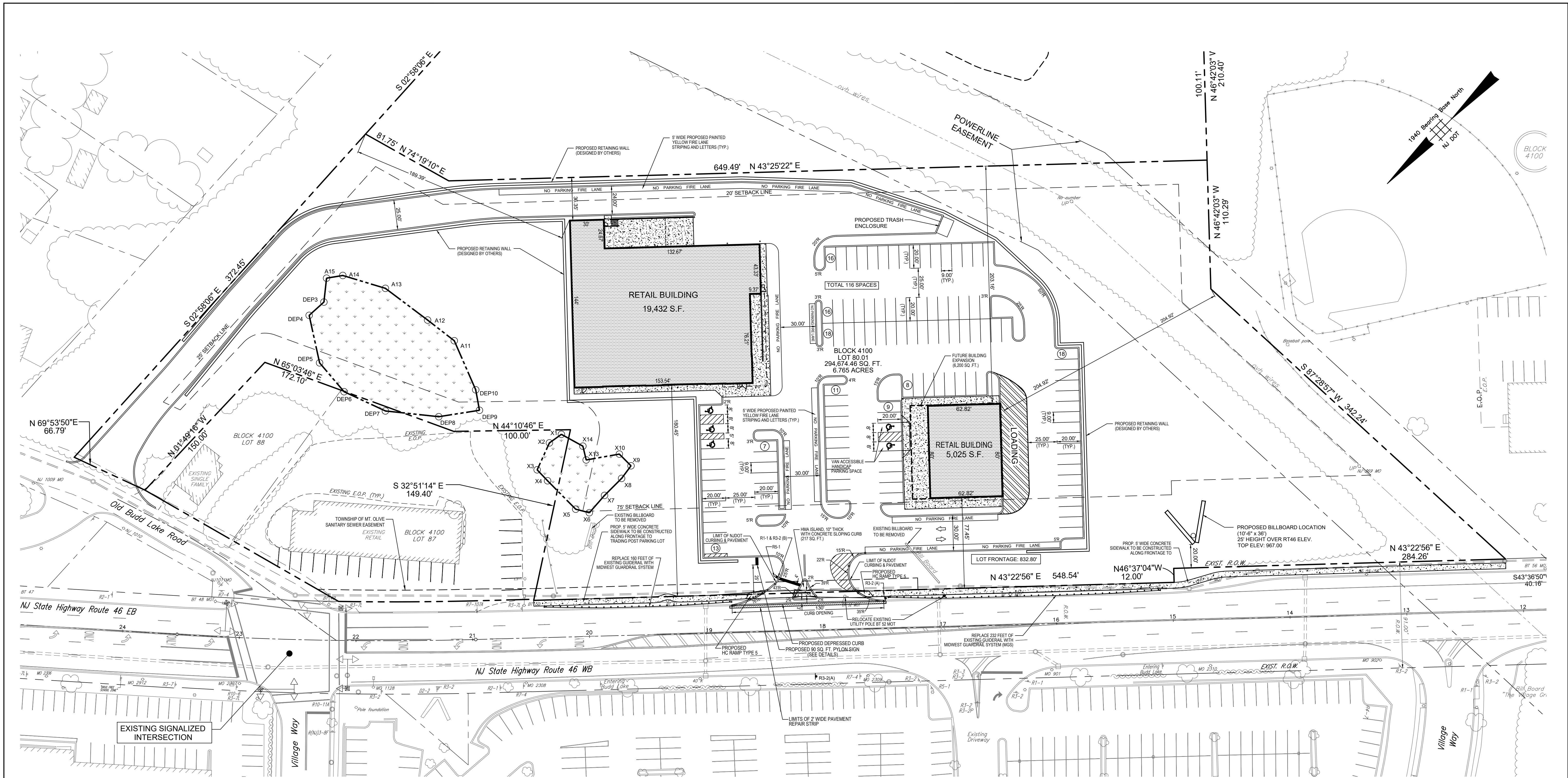
DATE

PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

AERIAL PHOTO
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

SCALE: 1" = 100'
100 50 0 100 200
GRAPHIC SCALE

DRAWN: GD CHECKED: HS FILE No: 21-100
SHEET: 3
OF: 19



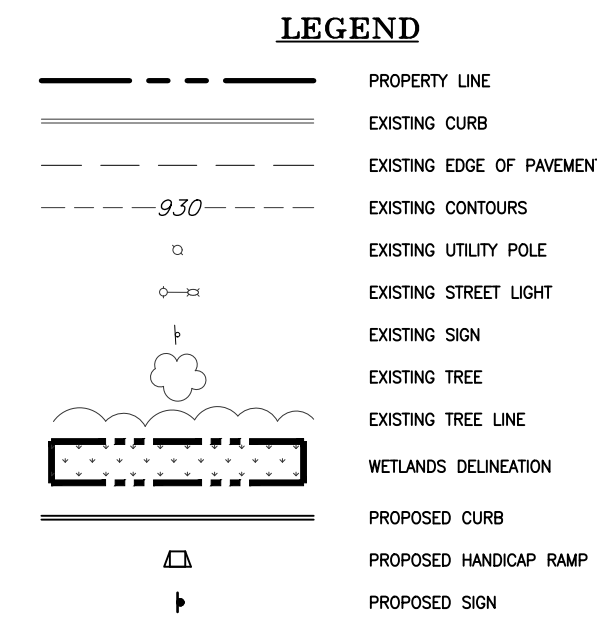
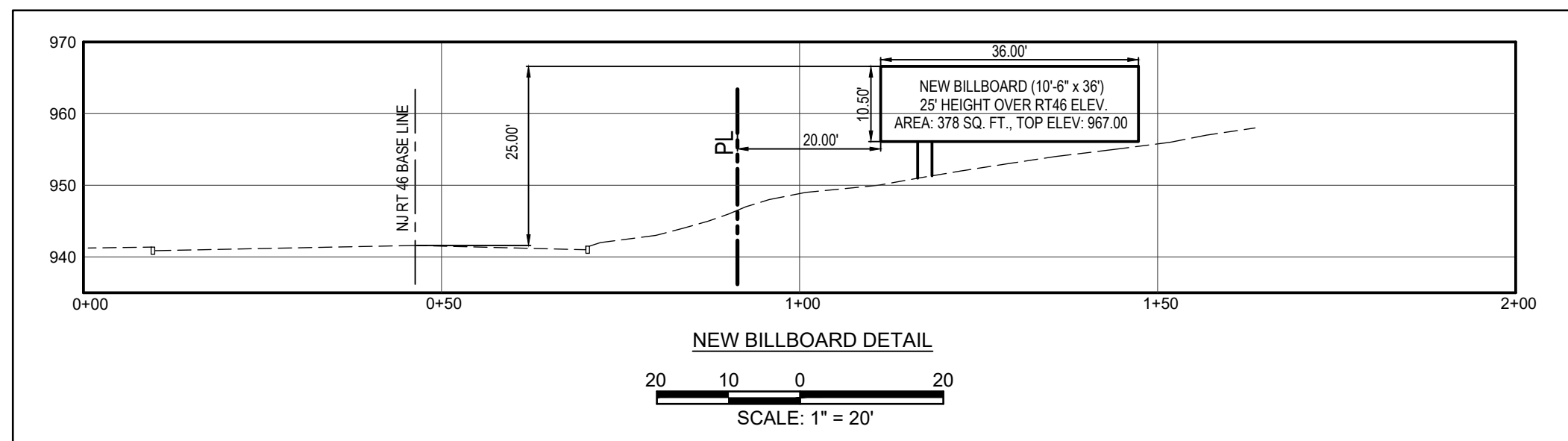
SIGN LEGEND

SITE DEVELOPMENT NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEAN-UP AND SECURITY OF ALL FACILITIES DURING CONSTRUCTION. UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS THE OWNER SHALL ASSUME RESPONSIBILITY.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY IN THE FIELD FOR INFORMATION AND REVIEW AND RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL PROPOSED GRADES INDICATE FINAL PAVEMENT AND GROUND ELEVATIONS.
- EXISTING GRADES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPES.
- FILL SHALL CONSIST OF MATERIAL FROM ON-SITE SOURCES OR APPROVED OFF-SITE SOURCES.
- RELOCATION OF EXISTING UTILITY POLES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITY LINES AND STRUCTURES TO BE ABANDONED SHALL BE COMPLETELY REMOVED FROM WITHIN 10 FEET FROM ANY STRUCTURE AND CAPPED AT THE MAIN IN ACCORDANCE WITH UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. SHALL BE ACQUIRED BY THE CONTRACTOR SO AS TO BE FLUSH WITH PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL UTILITIES SERVICING THE SITE SHALL BE RUN UNDERGROUND.
- EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS TO REQUEST UTILITIES MARK OUT BY THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- EXISTING ELECTRIC, TELEPHONE, AND CABLE TELEVISION UTILITIES ARE AVAILABLE AND SHALL BE USED FOR THE PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NO ON-SITE BURIAL IS PERMITTED.
- THE 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3,500 PSI.
- ALL AREAS NOT COVERED WITH IMPERVIOUS COVER SHALL BE FINISH GRADED WITH A MINIMUM OF 3" OF CLEAN TOPSOIL, RAKED TO REMOVE ANY STONES OR ROCKS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION TECHNIQUES, METHODS, AND MATERIALS SHALL BE IN ACCORDANCE WITH NJDOT STANDARDS.
- INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
- ALL REGULATORY SIGNS MUST BE MADE OF 3M DIAMOND GRADE OR EQUAL MATERIAL.
- SIGN POLES MUST BE GALVANIZED STEEL, 1 1/4" x 1 3/4" SQUARE CHANNELS.
- A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK AT THE SITE.

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE NO: 16-066. DATED JUNE 7, 2022.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC. BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014. (PENDING UPDATE)



REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	

SEA
Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
07/18/23
PROF. ENGINEER N.J. LIC. 38278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

SITE PLAN
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

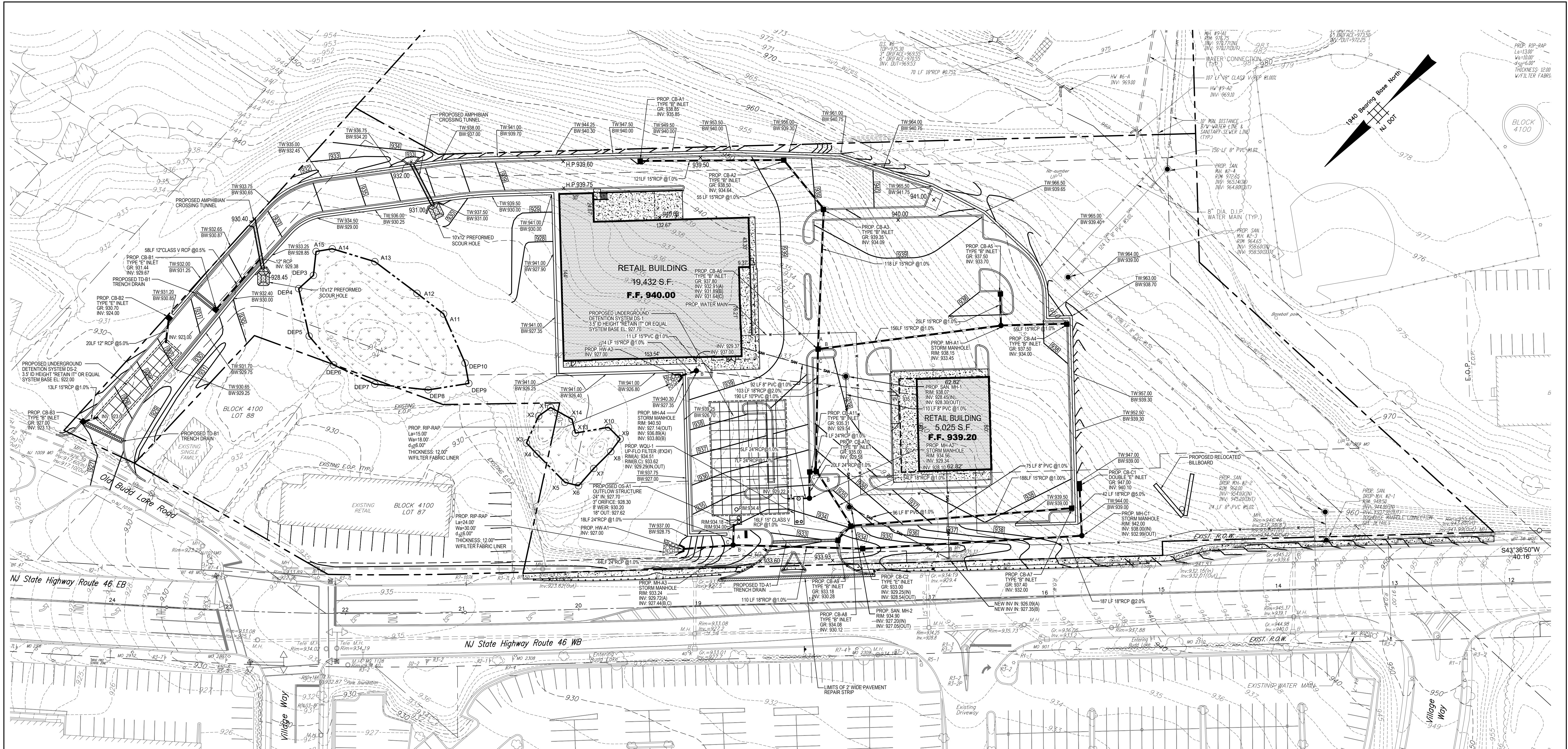
DRAWN: GD
CHECKED: HS
FILE No: 21-100

SHEET: 4

OF: 19

SCALE: 1" = 40'

GRAPHIC SCALE



SITE DEVELOPMENT NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEAN-UP AND SECURITY OF ALL FACILITIES DURING CONSTRUCTION. UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS THE OWNER SHALL ASSUME RESPONSIBILITY.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY IN THE FIELD FOR INFORMATION AND REVIEW AND RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL PROPOSED GRADES INDICATE FINAL PAVEMENT AND GROUND ELEVATIONS.
- EXISTING GRADES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPES.
- FILL SHALL CONSIST OF MATERIAL FROM ON-SITE SOURCES OR APPROVED OFF-SITE SOURCES.
- RELOCATION OF EXISTING UTILITY POLES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITY LINES AND STRUCTURES TO BE ABANDONED SHALL BE COMPLETELY REMOVED FROM WITHIN 10 FEET FROM ANY STRUCTURE AND CAPPED AT THE MAIN IN ACCORDANCE WITH UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR SO AS TO BE FLUSH WITH PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL UTILITIES SERVICING THE SITE SHALL BE RUN UNDERGROUND.
- EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS TO REQUEST UTILITIES MARK OUT BY THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- EXISTING ELECTRIC, TELEPHONE, AND CABLE TELEVISION UTILITIES ARE AVAILABLE AND SHALL BE USED FOR THE PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NO ON-SITE BURIAL IS PERMITTED.
- THE 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3,500 PSI.
- ALL AREAS NOT COVERED WITH IMPERVIOUS COVER SHALL BE FINISH GRADED WITH A MINIMUM OF 3" OF CLEAN TOPSOIL, RAKED TO REMOVE ANY STONES OR ROCKS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION TECHNIQUES, METHODS, AND MATERIALS SHALL BE IN ACCORDANCE WITH NDOT STANDARDS.
- INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
- ALL REGULATORY SIGNS MUST BE MADE OF 3M DIAMOND GRADE OR EQUAL MATERIAL.
- SIGN POLES MUST BE GALVANIZED STEEL, 1 1/4" x 3 1/4" SQUARED CHANNELS.
- A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK AT THE SITE.

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE NO: 16-066, DATED JUNE 7, 2022.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC., BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NDPE LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014, (PENDING UPDATE)



Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM

HAL SIMOFF P.E., P.P.

07/18/23

PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

GRADING & DRAINAGE PLAN

FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

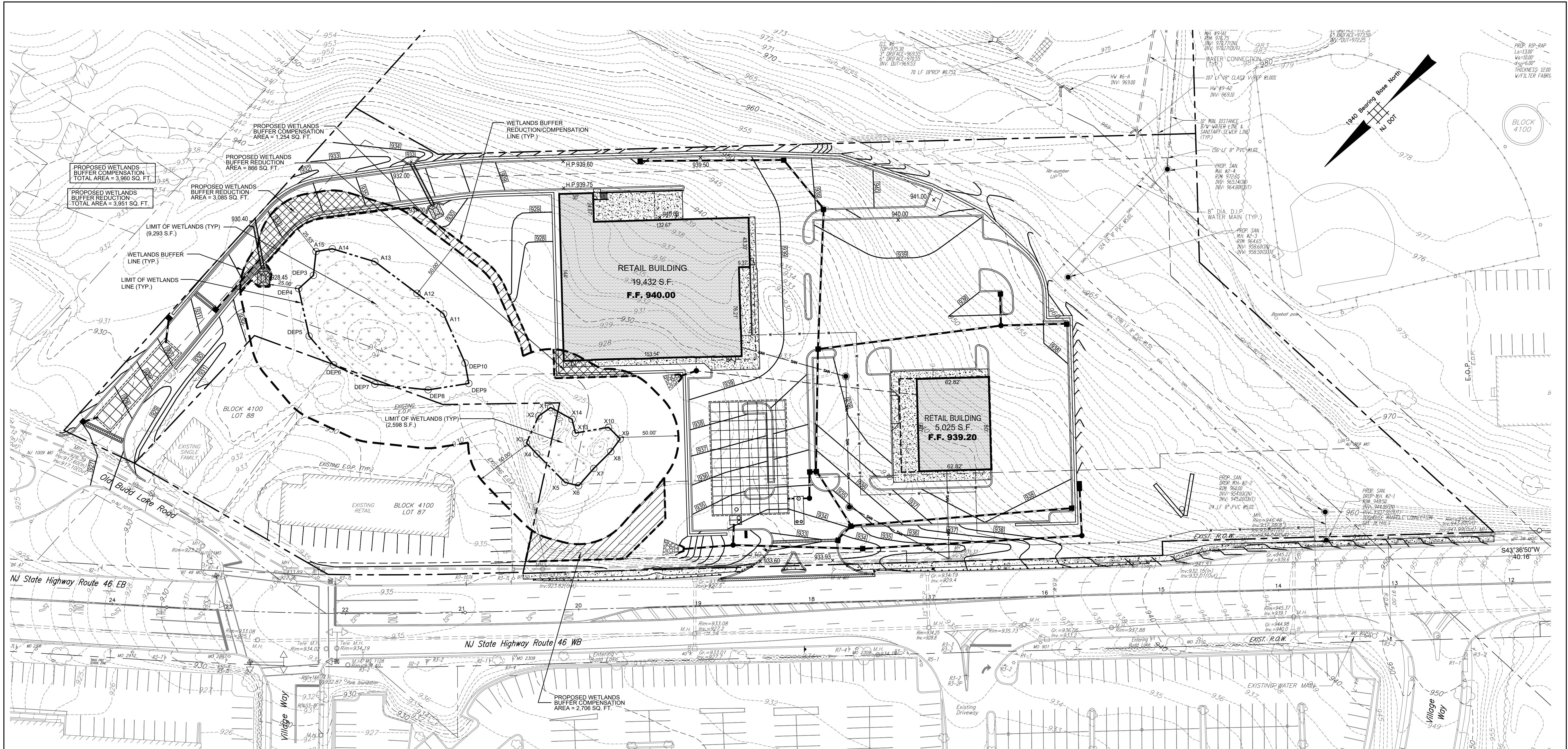
SCALE: 1" = 40'



DRAWN: GD
CHECKED: HS
FILE NO: 21-100

SHEET: 5

OF: 19



PROPOSED WETLANDS
BUFFER REDUCTION
TOTAL AREA = 3,951 SQ. FT.

PROPOSED WETLANDS
BUFFER COMPENSATION
TOTAL AREA = 3,960 SQ. FT.

WETLANDS LEGEND

- WETLANDS DELINEATION
- WETLANDS BUFFER LINE
- WETLANDS BUFFER REDUCTION/COMPENSATION LINE

LEGEND

- PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING CONTOURS
- EXISTING UTILITY POLE
- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING TREE
- EXISTING TREE LINE
- WETLANDS DELINEATION
- PROPOSED CURB
- PROPOSED HANDICAP RAMP
- PROPOSED SIGN
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORM SEWER

SITE DEVELOPMENT NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEAN-UP AND SECURITY OF ALL FACILITIES DURING CONSTRUCTION. UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS THE OWNER SHALL ASSUME RESPONSIBILITY.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY IN THE FIELD FOR INFORMATION AND REVIEW AND RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL PROPOSED GRADES INDICATE FINAL PAVEMENT AND GROUND ELEVATIONS.
- EXISTING GRADES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPES.
- FILL SHALL CONSIST OF MATERIAL FROM ON-SITE SOURCES OR APPROVED OFF-SITE SOURCES.
- RELOCATION OF EXISTING UTILITY POLES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITY LINES AND STRUCTURES TO BE ABANDONED SHALL BE COMPLETELY REMOVED FROM WITHIN 10 FEET FROM ANY STRUCTURE AND CAPPED AT THE MAIN IN ACCORDANCE WITH UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR SO AS TO BE FLUSH WITH PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL UTILITIES SERVICING THE SITE SHALL BE RUN UNDERGROUND.
- EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS TO REQUEST UTILITIES MARK OUT BY THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- EXISTING ELECTRIC, TELEPHONE, AND CABLE TELEVISION UTILITIES ARE AVAILABLE AND SHALL BE USED FOR THE PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NO ON-SITE BURIAL IS PERMITTED.
- THE 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3,500 PSI.
- ALL AREAS NOT COVERED WITH IMPERVIOUS COVER SHALL BE FINISH GRADED WITH A MINIMUM OF 3" OF CLEAN TOPSOIL, RAKED TO REMOVE ANY STONES OR ROCKS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION TECHNIQUES, METHODS, AND MATERIALS SHALL BE IN ACCORDANCE WITH NJDOT STANDARDS.
- INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
- ALL REGULATORY SIGNS MUST BE MADE OF 3M DIAMOND GRADE OR EQUAL MATERIAL. SIGN POLES MUST BE GALVANIZED STEEL, 1 1/4" x 1 3/4" SQUARED CHANNELS.
- A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK AT THE SITE.

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE NO. 16-066, DATED JUNE 7, 2022.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC., BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014. (PENDING UPDATE)

REVISION & DATE

SEA
Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
01/05/24
PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

WETLANDS BUFFER ANALYSIS
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

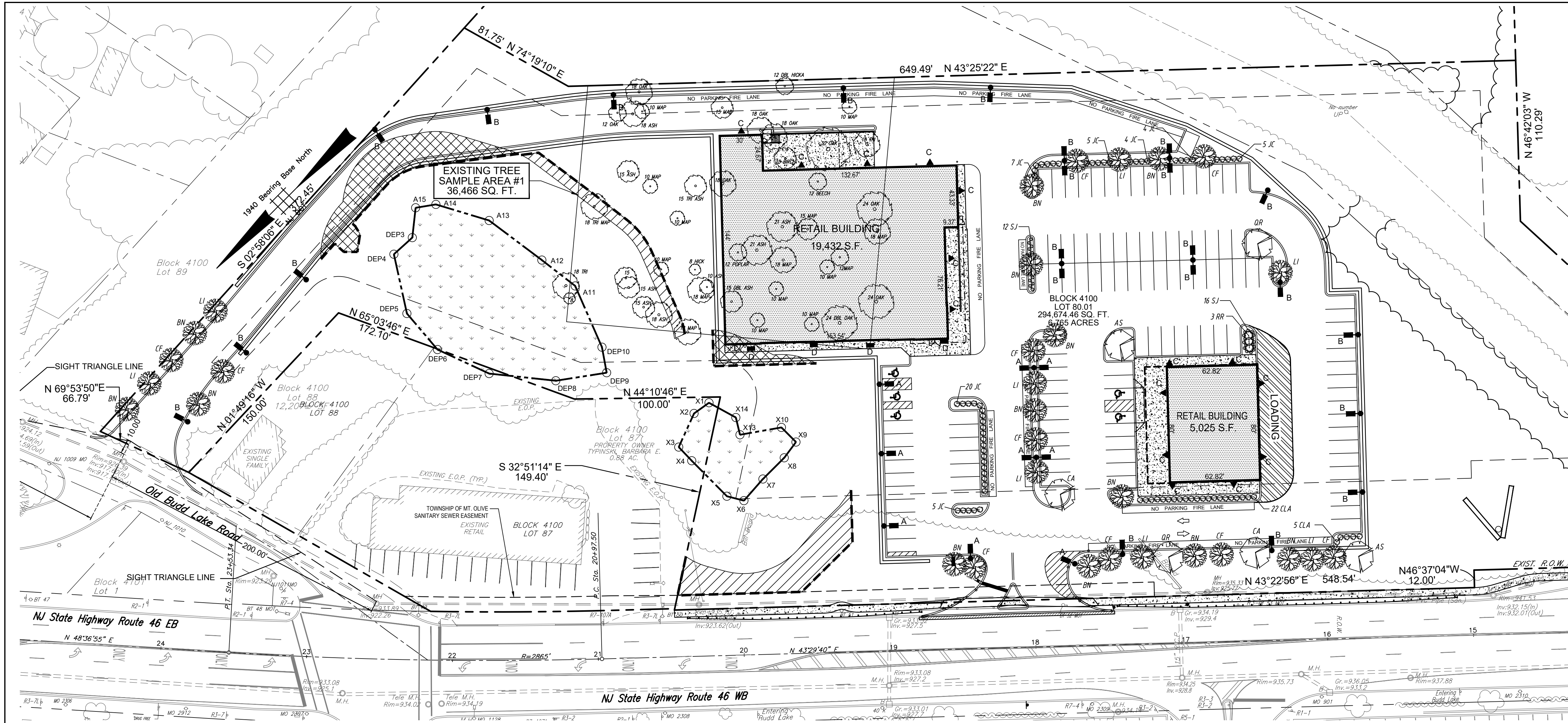
DRAWN: GD
CHECKED: HS
FILE No: 21-100

SHEET: 6

OF: 19

SCALE: 1" = 40'

GRAPHIC SCALE



EXISTING TREES IN SAMPLE AREA #1 / 43,560 SQ. FT.						
SPECIES	6-10"	11-18"	19-24"	25-30"	31-35"	36"+
ASH	0	7	2	0	0	0
BEECH	0	2	0	0	0	0
BIRCH	0	1	0	0	0	0
HICKORY	1	1	0	0	0	0
MAPLE	10	11	0	0	0	0
OAK	0	9	3	1	0	0
POPLAR	0	1	0	0	0	0
TOTAL (TO BE REMOVED 136,466 SQ. FT.)	12	32	5	1	0	0
						=50

TOTAL AREA TO BE DISTURBED/CLEARED - 168,187 SQ. FT. / 3.86 ACRES

PLANT LIST						
DECIDUOUS TREES						
QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	HEIGHT	COMMENTS
2	AS	ACER SACCHARUM	SUGAR MAPLE	2.5"-3" CAL.	12'-14'	B&B
13	BN	BETULA NIGRA	RIVER BIRCH	2.5"-3" CAL.	10'-12'	B&B
2	CA	CEDRUS ATLANTICA	BLUE ATLAS CEDAR	2.5"-3" CAL.	12'-14'	B&B
10	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	2"-3" CAL.	12'-16'	B&B, MULTI (3 TRUNKS MIN)
8	LI	LAGERSTROEMIA INDICA	CRAPPE MYRTLE	2.5"-3" CAL.	12'-14'	B&B
2	QR	QUERCUS RUBRA	NORTHERN RED OAK	2.5"-3" CAL.	12'-14'	B&B
SHRUBS						
QTY	SYM	SCIENTIFIC NAME	COMMON NAME	SIZE	HEIGHT	COMMENTS
27	CLA	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	18"-24"	3'-4'	B&B
50	JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18"-24"	3' CONT.	B&B
3	RR	ROSA 'RADRAZZ'	KNOCKOUT ROSE	24"-30"	3' CONT.	B&B
28	SJ	SPIREA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	18"-24"	3' CONT.	B&B

(PER THE TOWNSHIP OF MT. OLIVE LAND USE CODE SECT. 550-75)

CALCULATION OF REPLACEMENT TREES			
QUANTITY PER ACRE	SIZE	AREA TO BE CLEARED (ACRES)	TOTAL TREES
50	2.5"-3" CALIPER B&B TREES	3.82	191
50	1" CALIPER B&B TREES	3.82	191
100	6-9" WHIPS (CONTAINER GROWN 3 GAL. + TREES)	3.82	382
100	3 GAL. SHRUBS	3.82	382

A TOTAL OF 37 - 3.0" CALIPER TREES AND TOTAL OF 80 - 3 GAL SHRUBS ARE PROPOSED FOR THE SITE

TOTAL NUMBER OF NET REPLACEMENT 2.5"-3" CALIPER TREES = 154 (191-37)
 TOTAL NUMBER OF NET REPLACEMENT 1" CALIPER TREES = 191
 TOTAL NUMBER OF NET REPLACEMENT 6-9" WHIPS = 382
 TOTAL NUMBER OF NET REPLACEMENT 3 GAL SHRUBS = 302 (382-80)

GENERAL NOTES

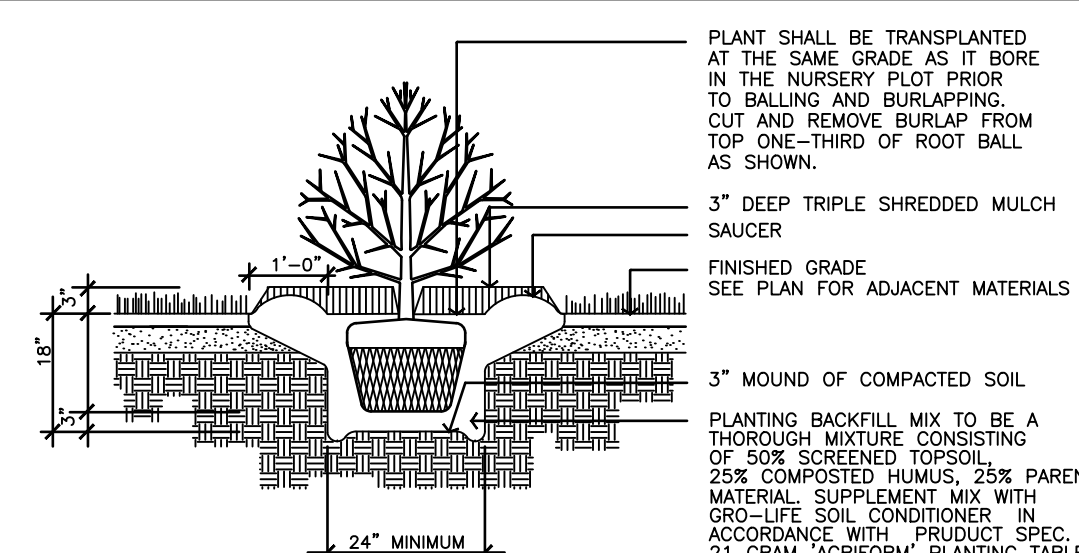
- NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIPLINE OF ANY EXISTING TREE TO BE PRESERVED.
- EXCEPT WHILE ENGAGED IN TREE REMOVAL, NO EQUIPMENT SHALL BE OPERATED WITHIN SIX (6) FEET OF ANY TREE PROTECTED BY SECTION 400-75 OF THE LAND USE CODE FOR THE TOWNSHIP OF MOUNT OLIVE NOR SHALL SUCH EQUIPMENT BE OPERATED AT ANY TIME IN SUCH A MANNER AS TO BREAK, TEAR, BRUISE, DECORTICATE OR OTHERWISE INJURE ANY LIVING OR DORMANT TREE.
- ALL TRENCING WITHIN THE DRIPLINE OF TREES TO BE SAVED SHALL BE DONE BY HAND OR BY A HYDRAULIC BORING MACHINE.
- ALL ROOTS ABOVE 1" DIAMETER THAT ARE SEVERED SHALL BE CLEAN CUT WITH HAND PRUNERS OR HAND SAW PRIOR TO BACKFILLING. NO ROOT ENDS SHALL BE LEFT JAGGED OR TORN.
- BACKFILLING IN SEVERED ROOT AREA SHALL BE DONE AS SOON AS POSSIBLE AFTER DAMAGE. DELAY IN COVERING EXPOSED ROOTS WILL RESULT IN DEHYDRATION AND PHYSICAL DAMAGE TO ROOTS. IF NECESSARY TO LEAVE TRENCH OPEN FOR AN EXTENDED PERIOD OF TIME, ANY ROOTS LARGER THAN 1" IN DIAMETER SHALL BE COVERED WITH MOISTENED BURLAP AND/OR MULCH AND KEPT MOIST UNTIL BACKFILLED.
- THERE IS TO BE ABSOLUTELY NO STOCKPILING OF MATERIALS WITHIN THE ROOTZONE OF TREES TO BE SAVED.
- THERE SHALL BE ABSOLUTELY NO MACHINERY OPERATED OR STORED WITHIN THE DRIPLINE OF TREES TO BE SAVED.
- THERE SHALL BE NO CONSTRUCTION MATERIAL OR DEBRIS LEANING AGAINST OR TOUCHING THE TRUNK OF TREES TO BE SAVED.
- CARE SHALL BE EXERCISED SO THAT NO SPILLS OF ANY TYPE OF LIQUID, ESPECIALLY GASOLINE, PAINTS OR OIL REACH WITHIN THE ROOTZONE OF TREES TO BE SAVED.
- CARE SHALL BE EXERCISED SO THAT OVERHEAD BRANCHES ARE NOT DAMAGED.
- DAMAGED TREE PROTECTION MATERIALS SHALL BE REPAIRED IMMEDIATELY.
- IF TREE TRUNKS, BRANCHES OR ROOTS ARE WOUNDED, IMMEDIATELY NOTIFY THE PROJECT MANAGER AND TREAT THEM IF APPROPRIATE.

PLANTING NOTES:

- ALL MATERIALS ARE TO BE TYPE & SIZE AS LISTED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- TREES & SHRUBS ARE TO BE IN ACCORDANCE WITH AMERICAN NURS. ASSOCIATION STANDARDS REGARDING SIZE & QUALITY.
- PLANTS ARE TO BE PLANTED UPRIGHT IN A DIRECTION SO AS TO GIVE BEST APPEARANCE OF RELATIONSHIP TO ADJACENT AREAS.
- PLAN IS DIAGRAMATIC. PLANT LOCATIONS MAY BE ADJUSTED FOR FIELD CONDITIONS WITH LANDSCAPE ARCHITECT APPROVAL.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY IMPLEMENTATION.
- IN THE EVENT OF A DISCREPANCY, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR REVIEW AND RESOLUTION.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. SEE DETAILS.
- PLANTING PITS ARE TO BE PREPARED TO A MIN. DEPTH OF 12" AND PITS ARE TO HAVE A MIN. OF 9" OF GOOD TOPSOIL. LAWN AREAS ARE TO HAVE A MIN. OF 6" OF TOPSOIL.
- PLANTING MIX TO BE AS SHOWN ON DETAILS.
- ALL PLANTING BEDS ARE TO HAVE A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
- PROVIDE NEW OR AMENDED TOPSOIL BACKFILL FOR ALL NEWLY PLANTED MATERIALS. ORGANIC MATTER CONTENTS A MIN. 5.0% PH RANGE BETWEEN 5.0-6.5 INCLUSIVE. FREE OF STONES 1 OR GREATER & FREE OF ALL DEBRIS & EXTRANEIOUS MATERIALS.
- CHEMICAL FERTILIZER TO BE DERIVED FROM ORGANIC SOURCES AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A TEMPORARY PROTECTIVE FENCE SHALL BE ERRECTED AROUND THE DRIPLINE OF ANY EXISTING TREES WHICH ARE TO REMAIN. THE FENCE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE FENCE SHALL BE SHOW FENCING OR EQUAL AND WILL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES.
- FEEDER ROOTS OF EXISTING TREES TO REMAIN SHALL BE CUT WITHIN THE DRIP LINES.
- DAMAGED TRUNKS OR EXPOSED ROOTS SHALL BE CLEANED, REPAIRED AND PAINTED IMMEDIATELY WITH A GOOD QUALITY TREE PAINT.
- DO NOT FILL WITHIN 10' OF EXISTING TREES TO REMAIN.

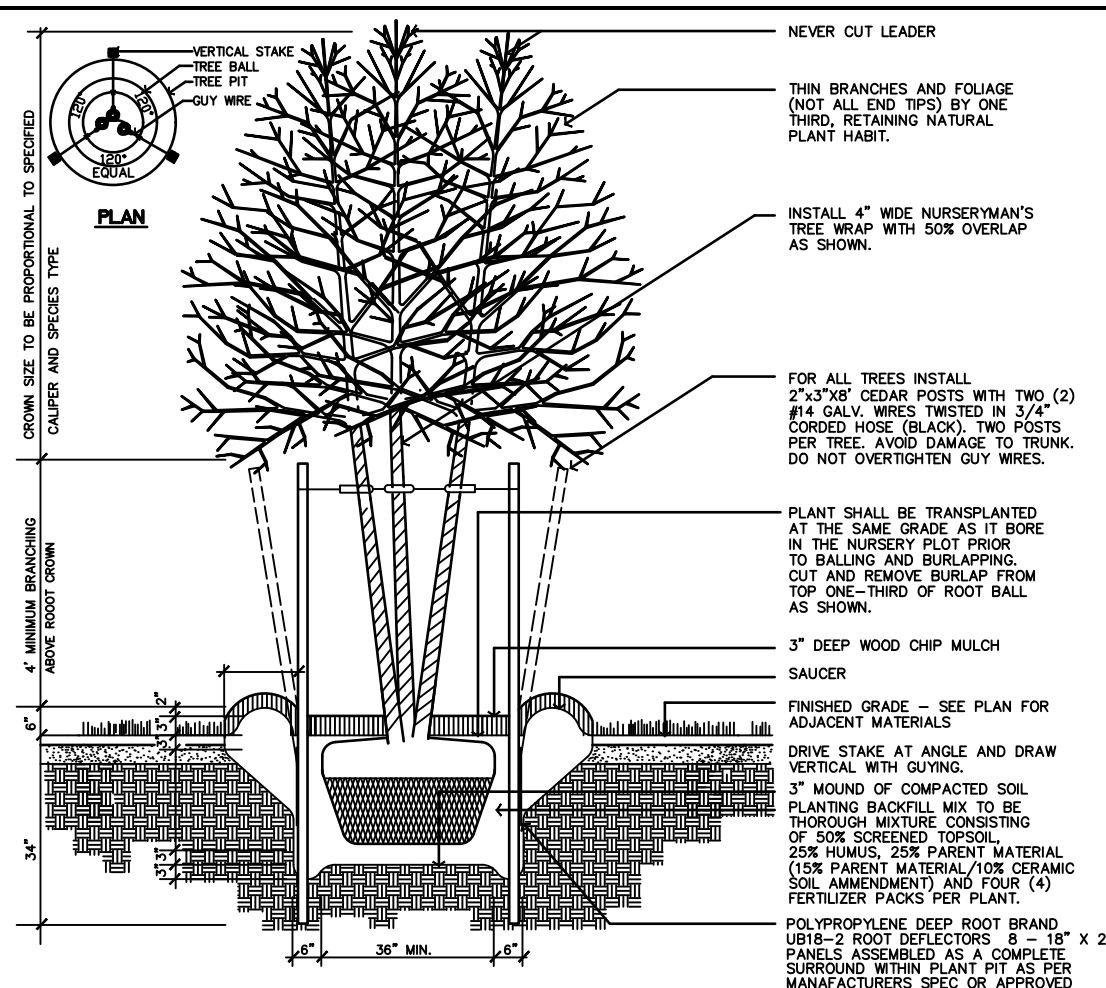
SEEDING NOTES:

- LIMESTONE SHALL BE APPLIED AT THE RATE OF 150 LBS. PER 1000 SF TO THE AREA TO BE SEEDDED.
- FERTILIZER SHALL BE APPLIED AT THE RATE OF 20 LBS. PER 1000 SF TO THE AREA TO BE SEEDDED.
- THE AREAS TO BE SEEDDED SHALL THEN BE RAKED, DISKED, HARROWED, OR OTHERWISE WORKED TO INCORPORATE THE LIMESTONE AND FERTILIZER INTO THE UPPER THREE INCHES OF SOIL AND TO REMOVE STONES, ROOTS, DEBRIS AND OTHER UNSUITABLE MATERIAL AND TO FORM AN EVEN SURFACE TO THE SPECIFIED CONTOUR.
- THE SEED MIXTURE SHALL BE SOWN AT THE RATE OF 200 LBS. PER ACRE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- THE SEEDDED AREAS SHALL BE MULCHED WITH HAY OR SALT HAY, UNIFORMLY SPREAD IN A LAYER 1 TO 1 1/2 INCHES THICK. LOOSE MEASUREMENT. THE RATE SHALL BE GENERALLY BLOWN ON IN ITS NATURAL LENGTH. CHOPPED HAY SHALL NOT BE USED. NO SEEDDED AREAS SHALL REMAIN UNMULCHED LONGER THAN 7 DAYS.
- ALL MULCH SHALL BE BOUND AND ANCHORED IN PLACE WITH LIQUID MULCH BINDER TO MINIMIZE LOSS BY WIND OR WATER. THE LIQUID MULCH BINDER SHALL BE APPLIED AS FOLLOWS. ONE APPLICATION OF LIQUID WOOD FIBER OR PAPER FIBER BINDER SHALL BE APPLIED AT THE RATE OF 2000 LBS. PER ACRE APPLIED WITH A HYDROSEEDER IN A UNIFORM MANNER OVER THE HAY MULCH.
- SIX (6) MONTHS AFTER THE INITIAL APPLICATION OF LIME AND FERTILIZER, THE CONTRACTOR WILL BE REQUIRED TO PLACE A TOP DRESSING ON ALL SEEDDED AREAS, CONSISTING OF 10-20-10 COMMERCIAL FERTILIZER APPLIED AT A RATE OF 14 LBS. PER 1000 SF.



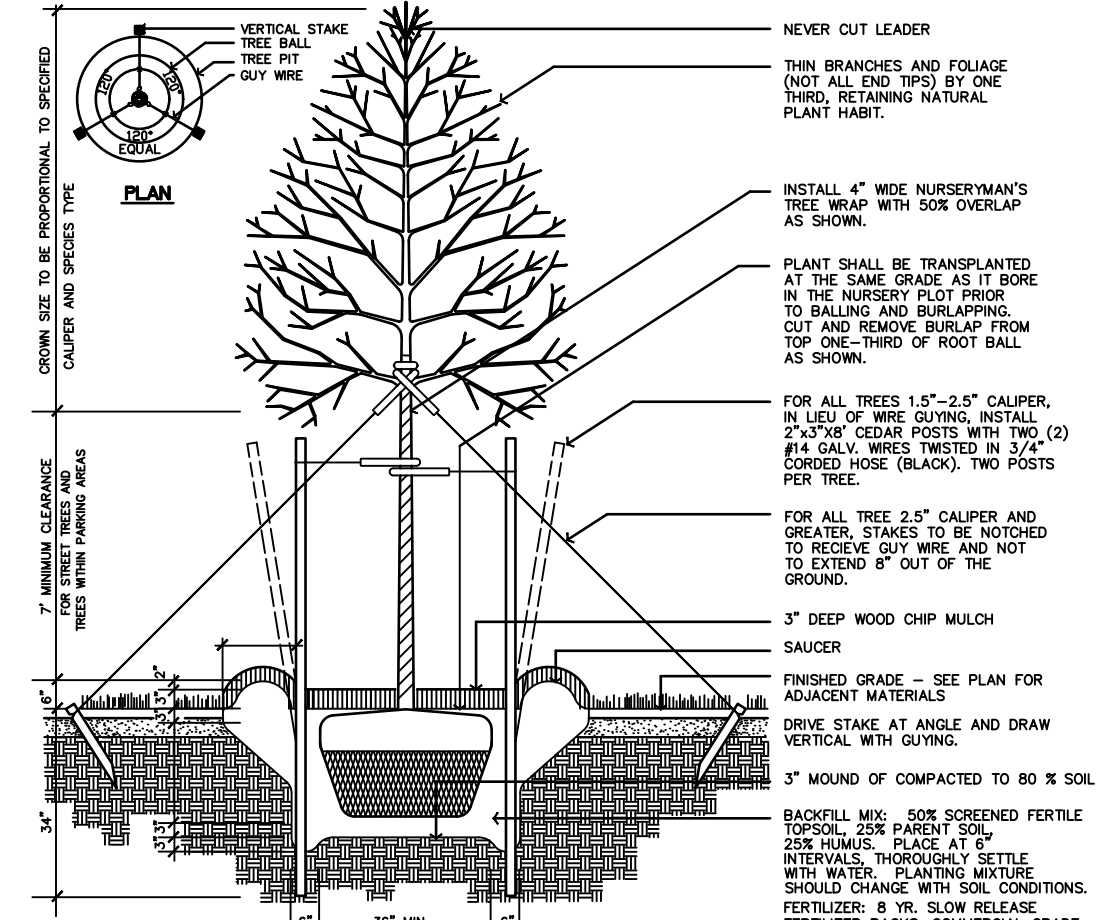
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



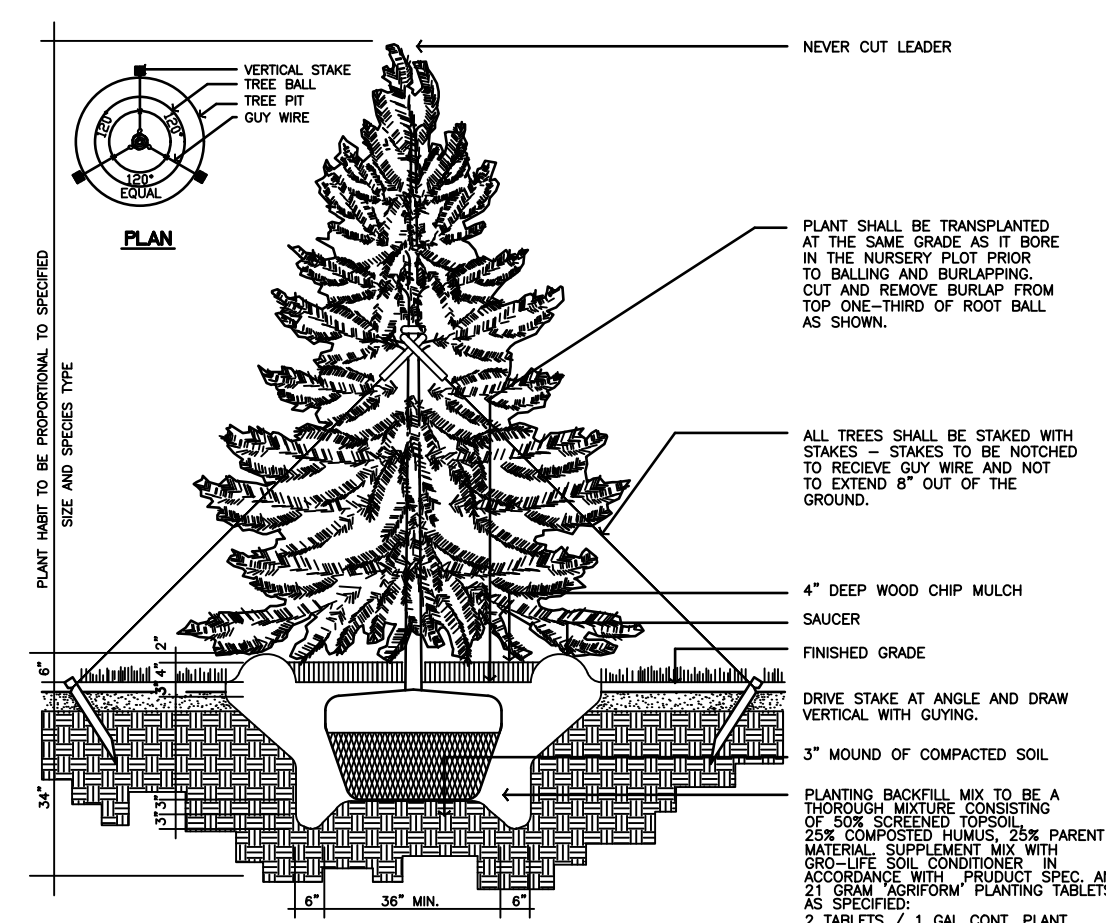
MULTISTEM TREE PLANTING DETAIL

NOT TO SCALE



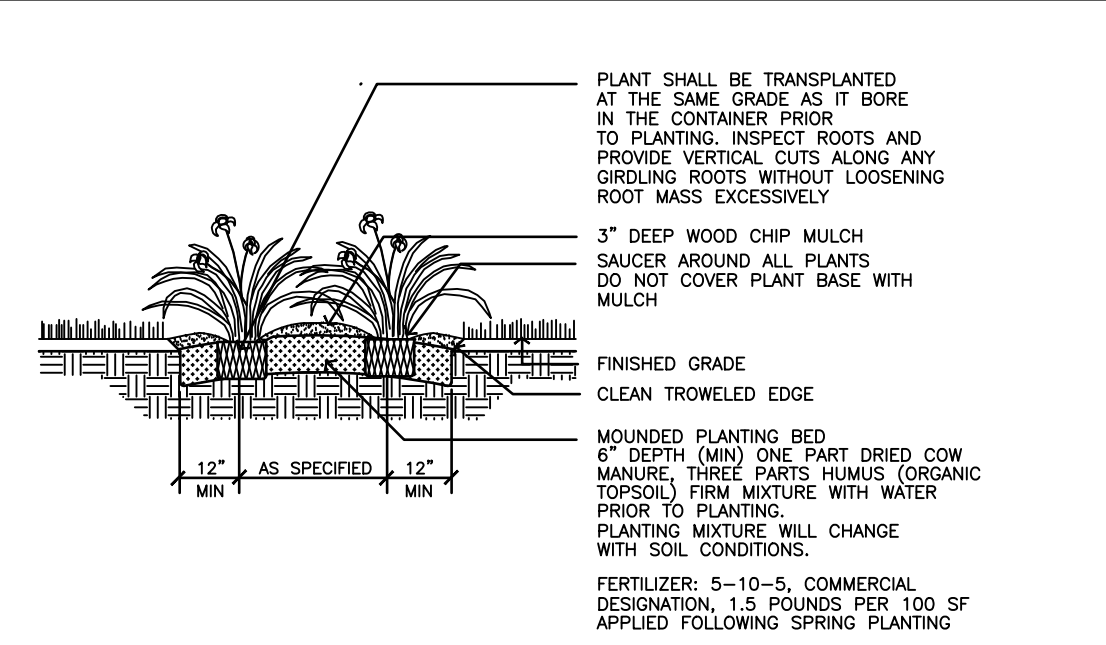
SHADE AND ORNAMENTAL TREE PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



PERENNIAL HERBACEOUS PLANTING BED DETAIL

NOT TO SCALE

SEA
Simoff Engineering Associates
 2 Shunpike Road Madison New Jersey 07940
 Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
 07/18/23
 PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
 PROFESSIONAL PLANNER N.J. LIC. 2664
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

**LANDSCAPING,
 TREE REMOVAL & REPLACEMENT PLAN
 FOR
 BLOCK 4100, LOT 80.01
 MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY**

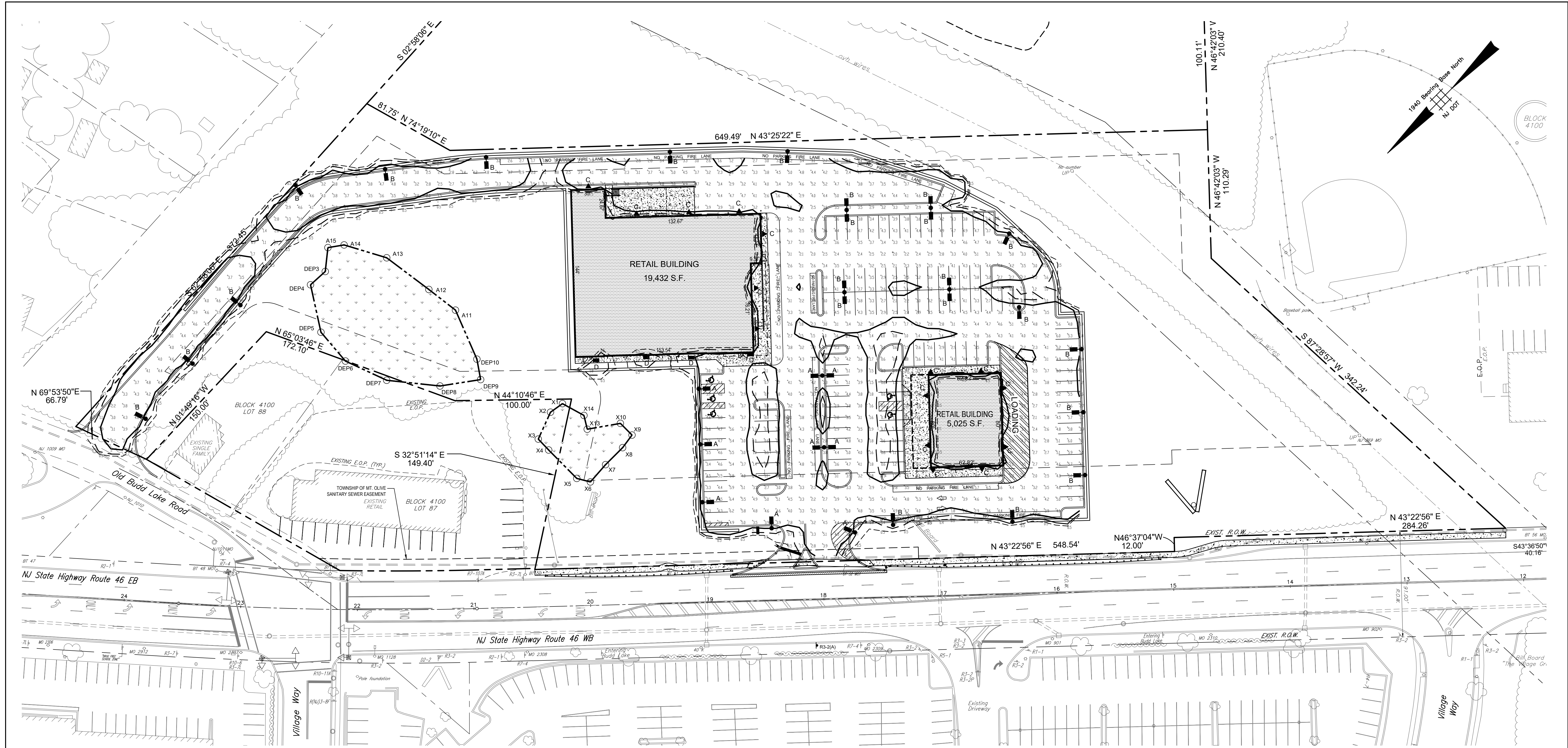
SCALE: 1" = 40'

GRAPHIC SCALE

DRAWN: GD
 CHECKED: HS
 FILE NO: 21-100

SHEET: 7

OF: 19



LITHONIA LIGHTING
WWW.LITHONIA.COM

LUM	SYM	QTY	DESCRIPTION	CATALOG No.	LLF	WATTS
A	◆	9	CONTOUR SERIES LED AREA LUMINAIRE WITH 60 4000K LEDS OPERATED AT 700MA AND PRECISION MOLDED ACRYLIC FORWARD THROW LENS WITH HOUSE SIDE SHIELD (@16')	CSX1 LED 60C 700 40K TFTM HS	0.72	134
B	◆	23	CONTOUR SERIES LED AREA LUMINAIRE WITH 80 4000K LEDS OPERATED AT 700MA AND PRECISION MOLDED ACRYLIC TYPE III LENS WITH HOUSE SIDE SHIELD (@16')	CSX1 LED 60C 700 40K T3M HS	0.72	134
C	▶	15	CONTOUR SERIES LED WALL-MOUNT WITH 30 4000K LEDS OPERATED AT 700MA AND PRECISION MOLDED ACRYLIC FORWARD THROW LENS (@12')	CSXW LED 30C 700 40K TFTM	0.72	69
D	■	4	CONTOUR SERIES BUILDING MOUNTED WALLPACK WITH VERTICAL LAMP AND GLASS LENS (@12')	TWF1 2/26DTT	0.72	48.7

———— 2.00 FC CONTOUR LINE
----- 1.00 FC CONTOUR LINE
----- 0.50 FC CONTOUR LINE

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE No. 16-066, DATED JUNE 7, 2002.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC., BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE No.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014. (PENDING UPDATE)

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
SITE CALCULATIONS	+	3.3 fc	6.5 fc	0.3 fc	11.0:1

LEGEND	
---	PROPERTY LINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CONTOURS
---	EXISTING UTILITY POLE
---	EXISTING STREET LIGHT
---	EXISTING SIGN
---	EXISTING TREE
---	EXISTING TREE LINE
---	WETLANDS DELINEATION
---	PROPOSED CURB
---	PROPOSED HANDICAP RAMP
---	PROPOSED SIGN

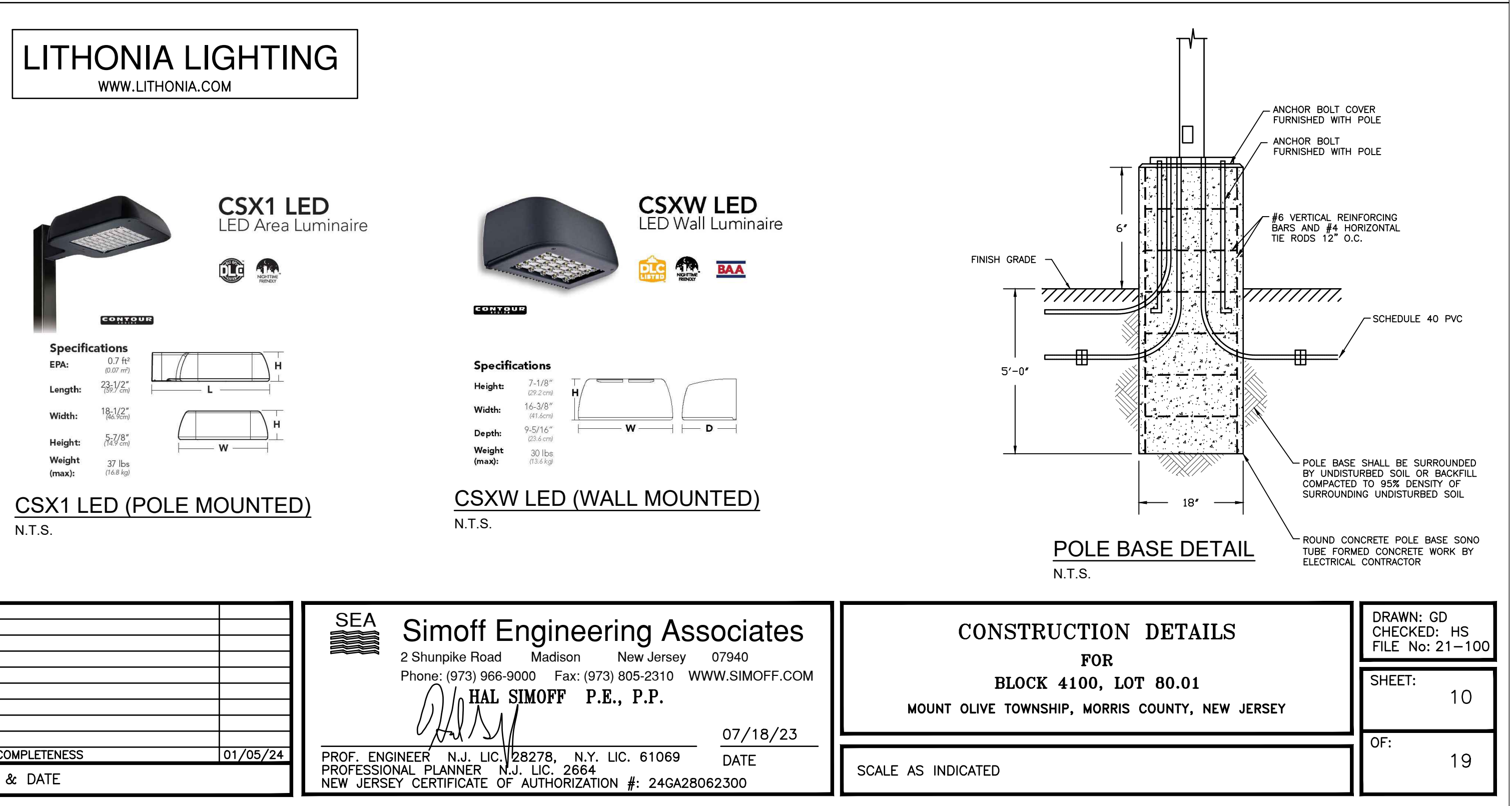
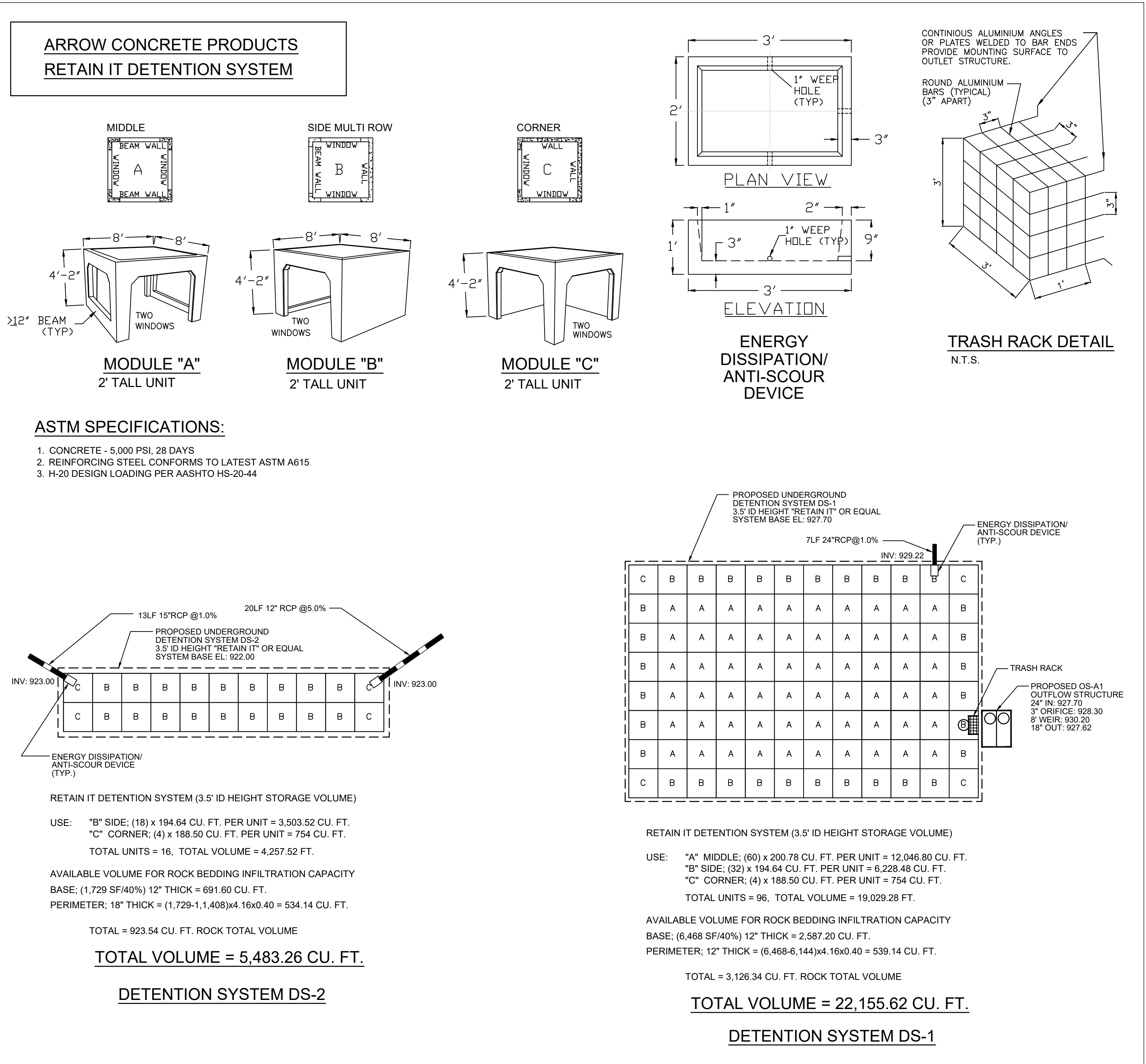
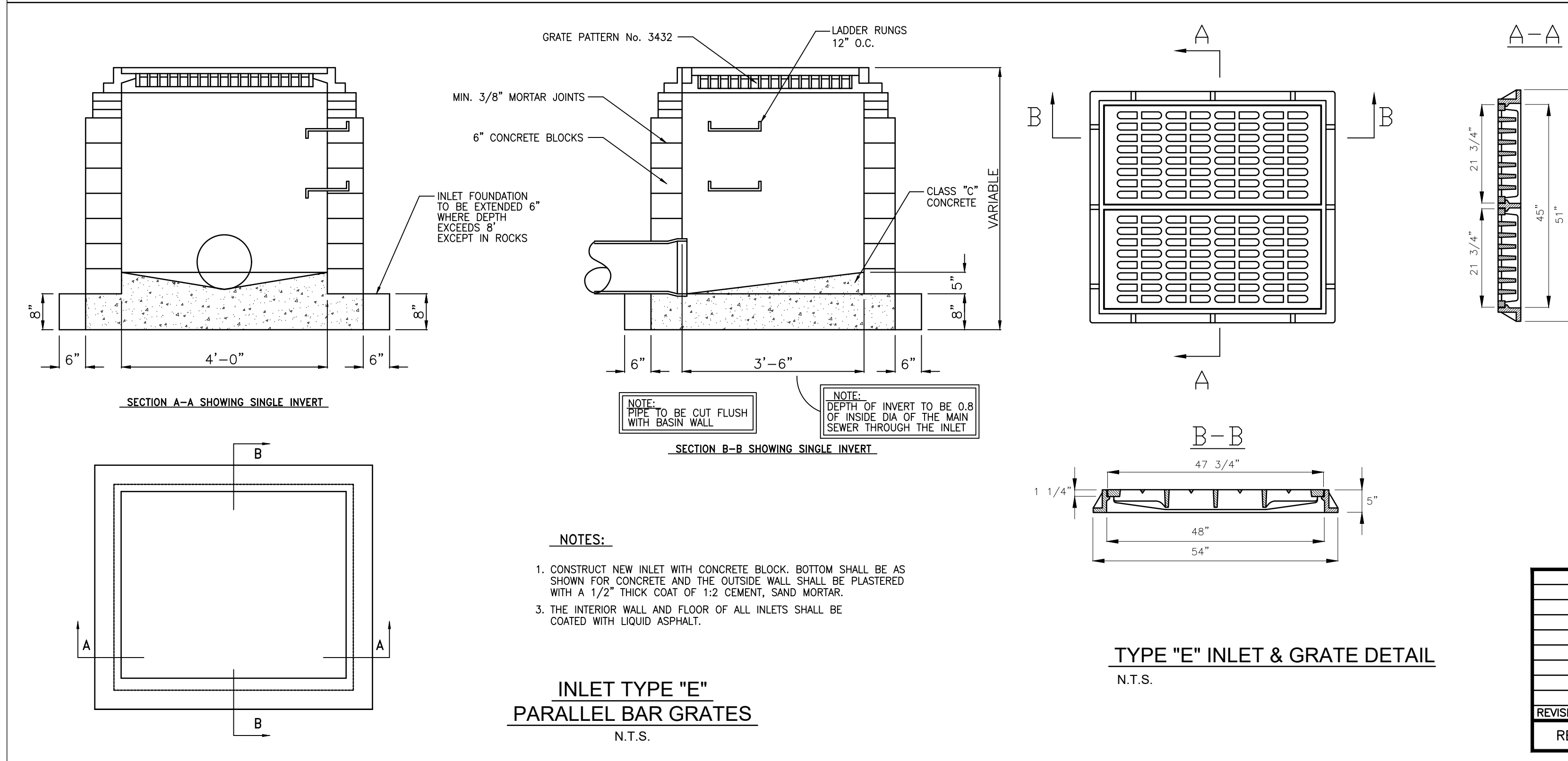
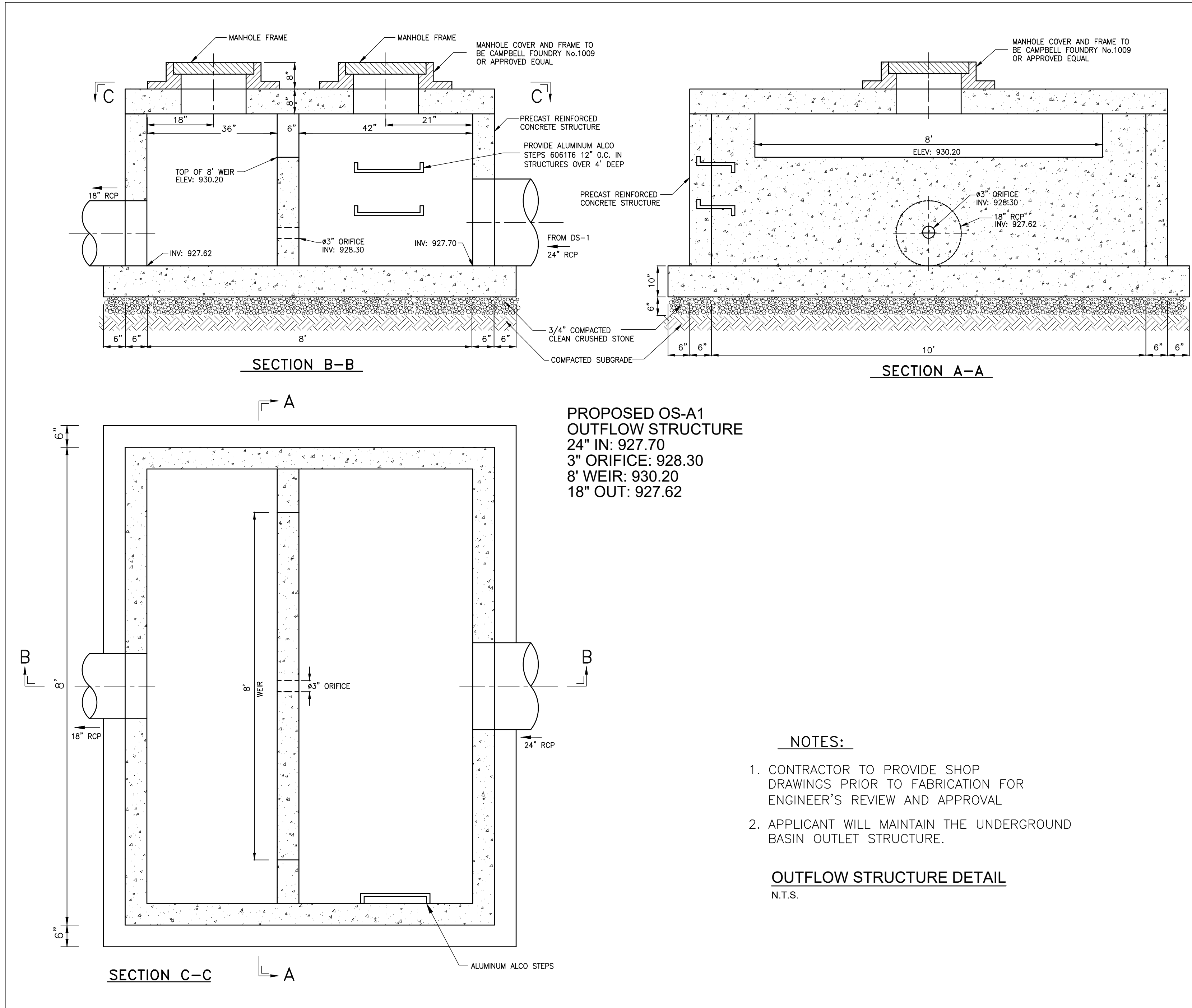
SITE DEVELOPMENT NOTES

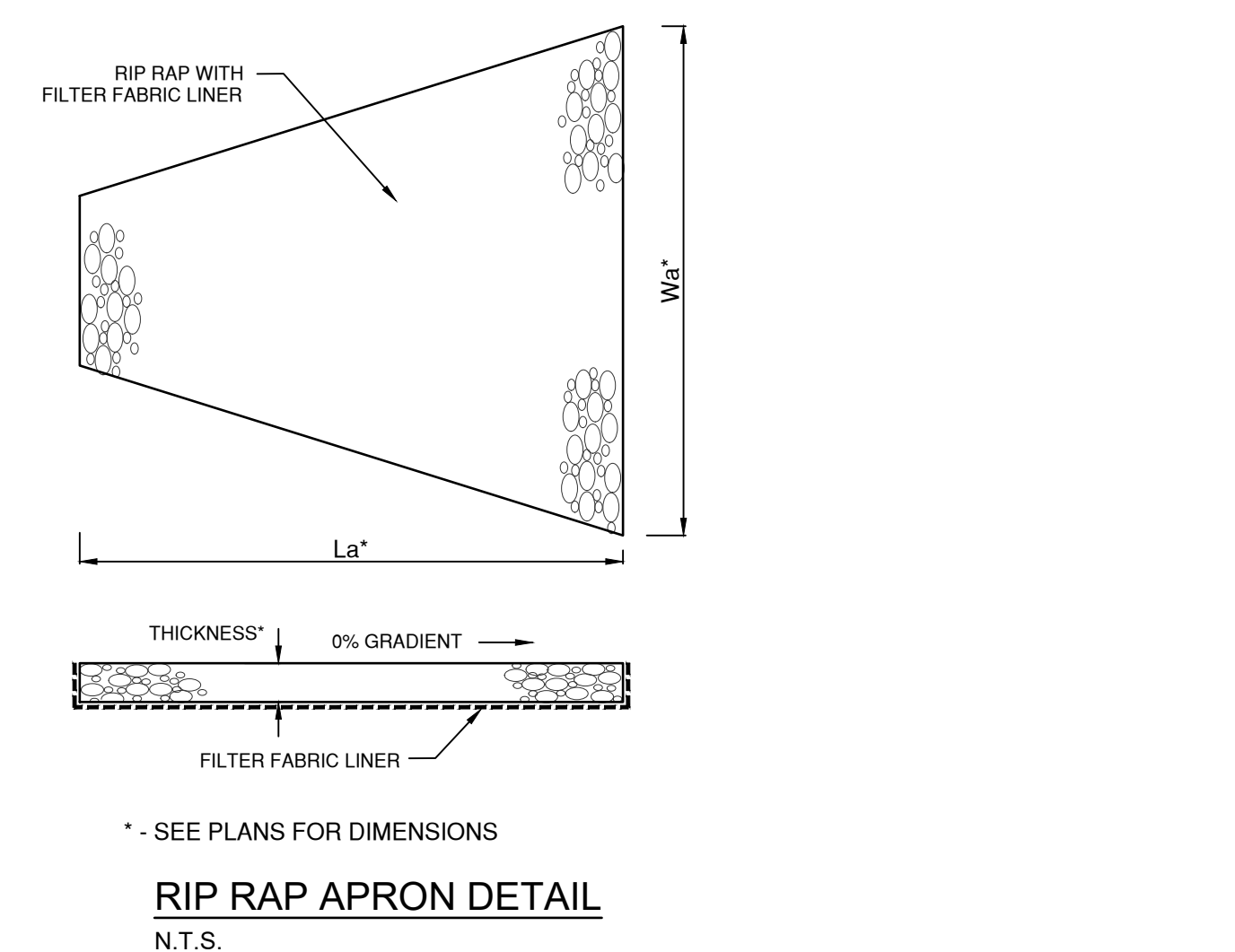
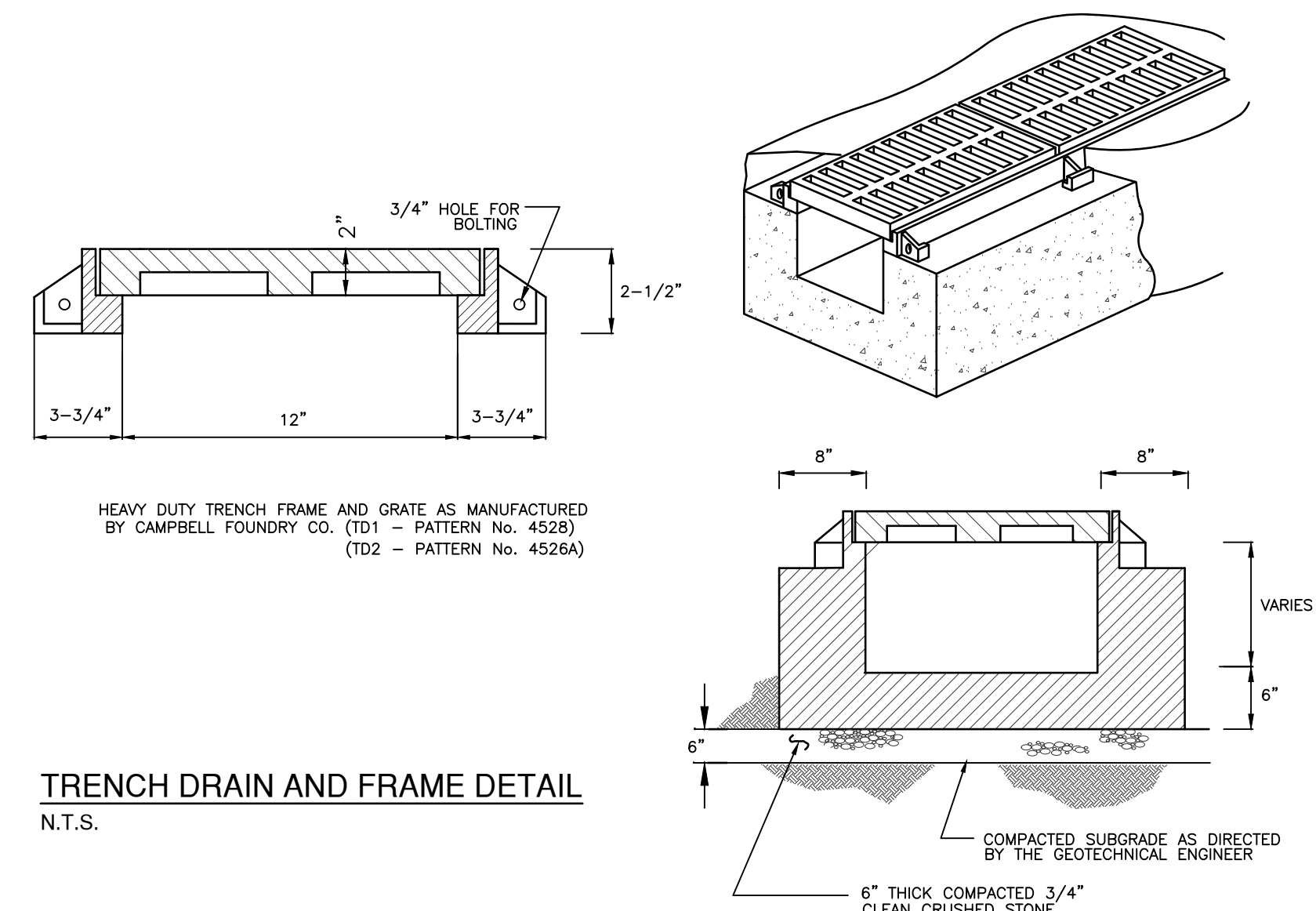
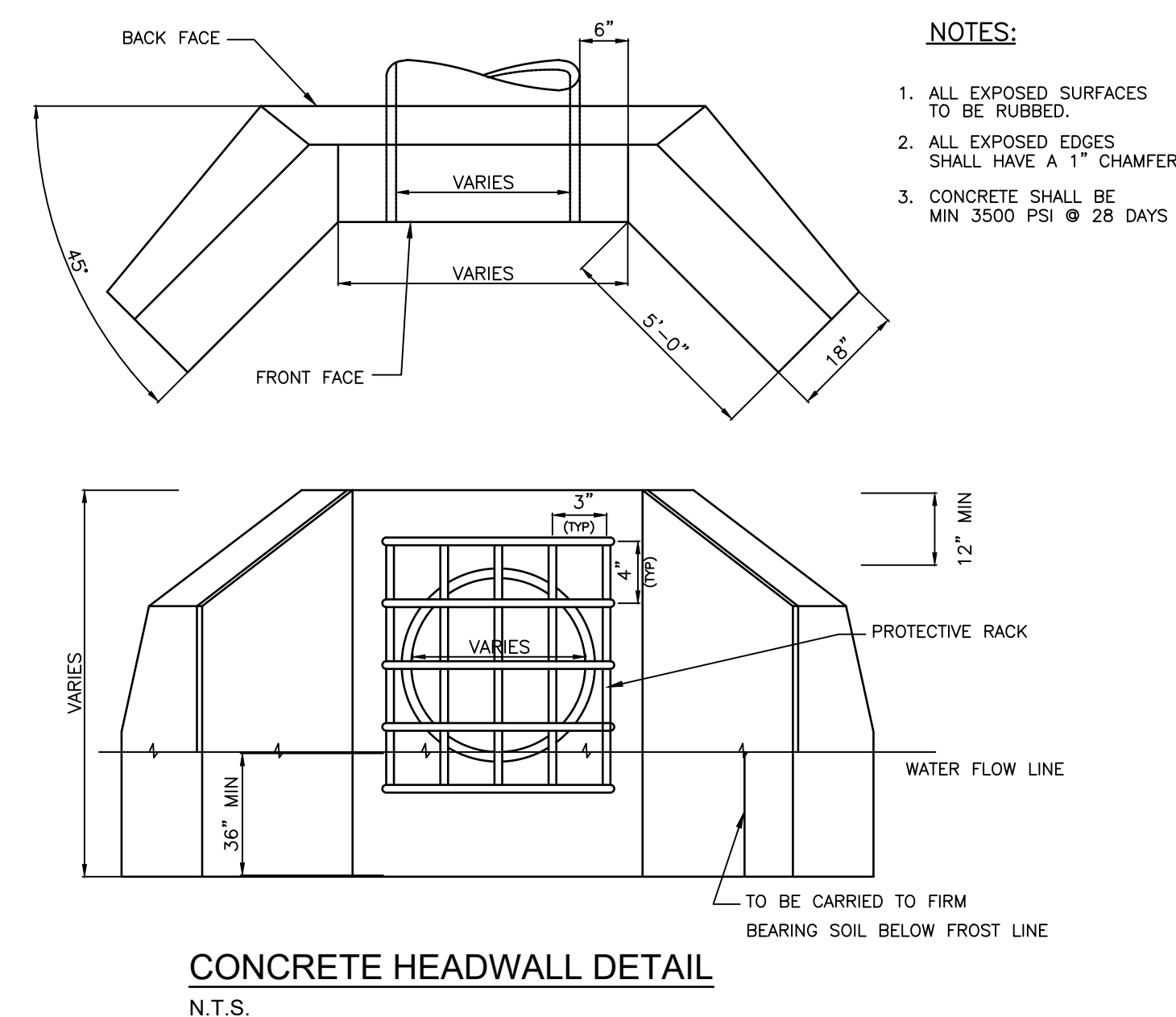
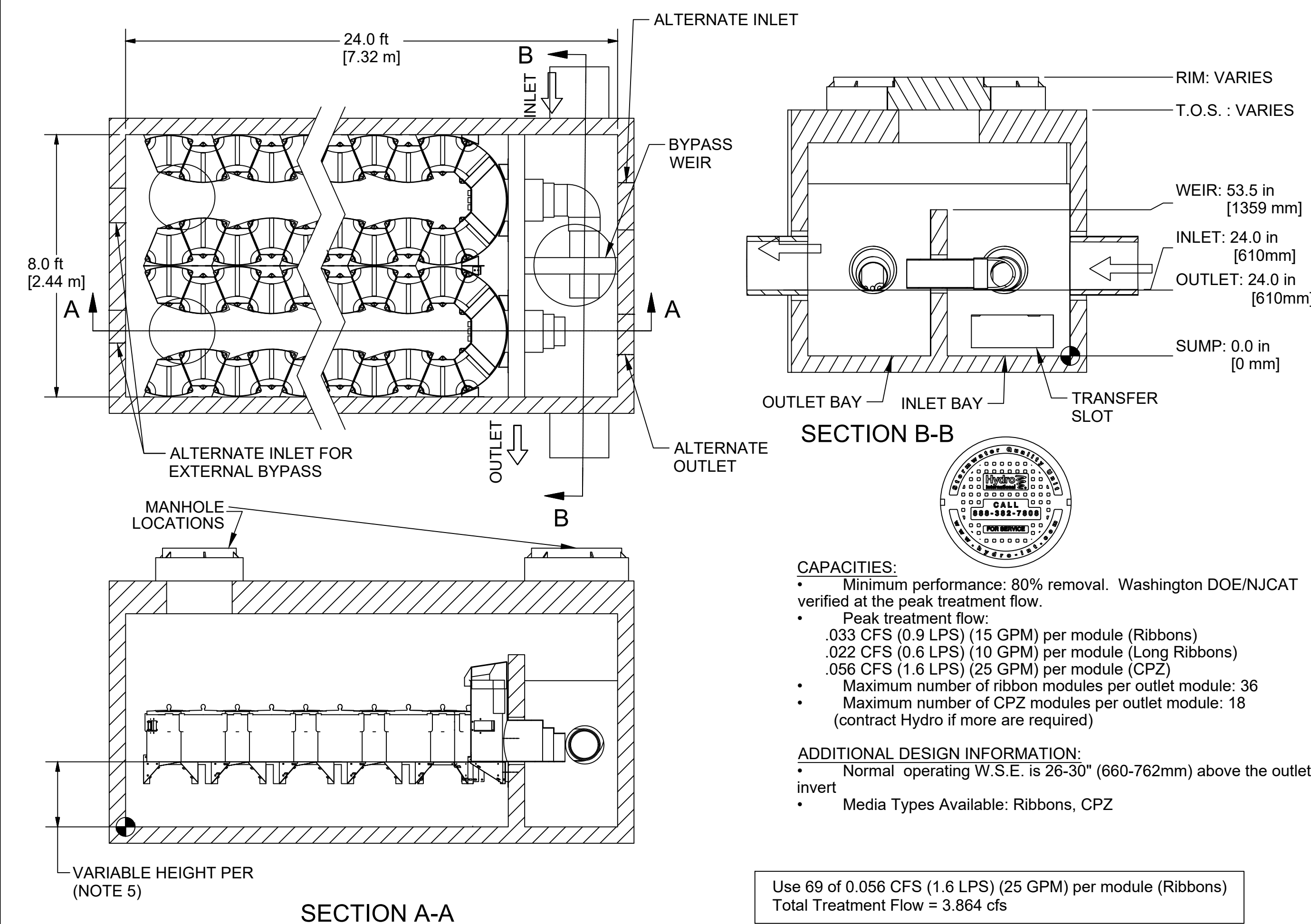
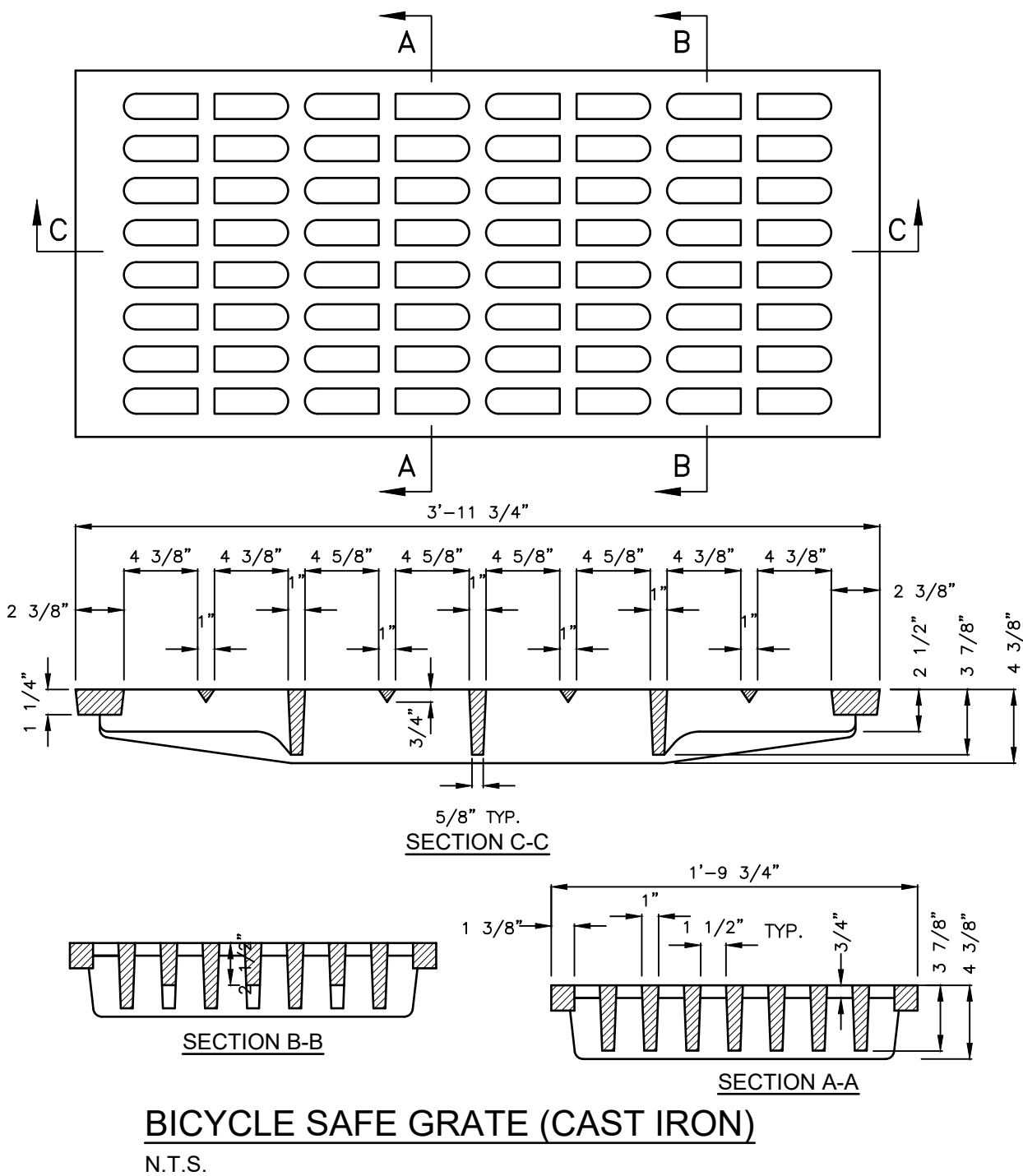
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEAN-UP AND SECURITY OF ALL FACILITIES DURING CONSTRUCTION. UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS THE OWNER SHALL ASSUME RESPONSIBILITY.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY IN THE FIELD FOR INFORMATION AND REVIEW AND RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL PROPOSED GRADES INDICATE FINAL PAVEMENT AND GROUND ELEVATIONS.
- EXISTING GRADES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPES.
- FILL SHALL CONSIST OF MATERIAL FROM ON-SITE SOURCES OR APPROVED OFF-SITE SOURCES.
- RELOCATION OF EXISTING UTILITY POLES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITY LINES AND STRUCTURES TO BE ABANDONED SHALL BE COMPLETELY REMOVED FROM WITHIN 10 FEET FROM ANY STRUCTURE AND CAPPED AT THE MAIN IN ACCORDANCE WITH UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR SO AS TO BE FLUSH WITH PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL UTILITIES SERVICING THE SITE SHALL BE RUN UNDERGROUND.
- EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS TO REQUEST UTILITIES MARK OUT BY THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- EXISTING ELECTRIC, TELEPHONE, AND CABLE TELEVISION UTILITIES ARE AVAILABLE AND SHALL BE USED FOR THE PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NO ON-SITE BURIAL IS PERMITTED.
- THE 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3,500 PSI.
- ALL AREAS NOT COVERED WITH IMPERVIOUS COVER SHALL BE FINISH GRADED WITH A MINIMUM OF 3" OF CLEAN TOPSOIL, RAKED TO REMOVE ANY STONES OR ROCKS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION TECHNIQUES, METHODS, AND MATERIALS SHALL BE IN ACCORDANCE WITH NDOT STANDARDS.
- INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
- ALL REGULATORY SIGNS MUST BE MADE OF 3M DIAMOND GRADE OR EQUAL MATERIAL.
- SIGN POLES MUST BE GALVANIZED STEEL, 1 1/4" x 1 3/4" SQUARED CHANNELS.
- A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK AT THE SITE.

REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	

SEA
Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
07/18/23
PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

LIGHTING PLAN
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY
SCALE: 1" = 40'
DRAWN: GD
CHECKED: HS
FILE No: 21-100
SHEET: 8
OF: 19





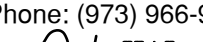
NOTES:

1. STRUCTURE WALL AND SLAB THICKNESSES ARE NOT TO SCALE
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING THE STRUCTURE
3. NOT FOR CONSTRUCTION CONTACT HYDRO FOR SITE SPECIFIC DRAWING
4. NOT ALL SIZES AVAILABLE IN ALL AREAS
5. SUMP DEPTH AVAILABLE IN 24" (610mm) CPZ, RIBBONS AND 36" (914mm) LONG RIBBONS DEPTH

8' x 24' VAULT UP-FLO FILTER
76 MODULS MAX
N.T.S.

[illegible]

SEA

Simoff Engineering Associates
 2 Shumpike Road Madison New Jersey 07940
 Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.

 PROFESSIONAL ENGINEER N.J. LIC. 128278, N.Y. LIC. 61069
 PROFESSIONAL PLANNER N.J. LIC. 26624
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 246A2862300
 07/18/23
 DATE

CONSTRUCTION DETAILS
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

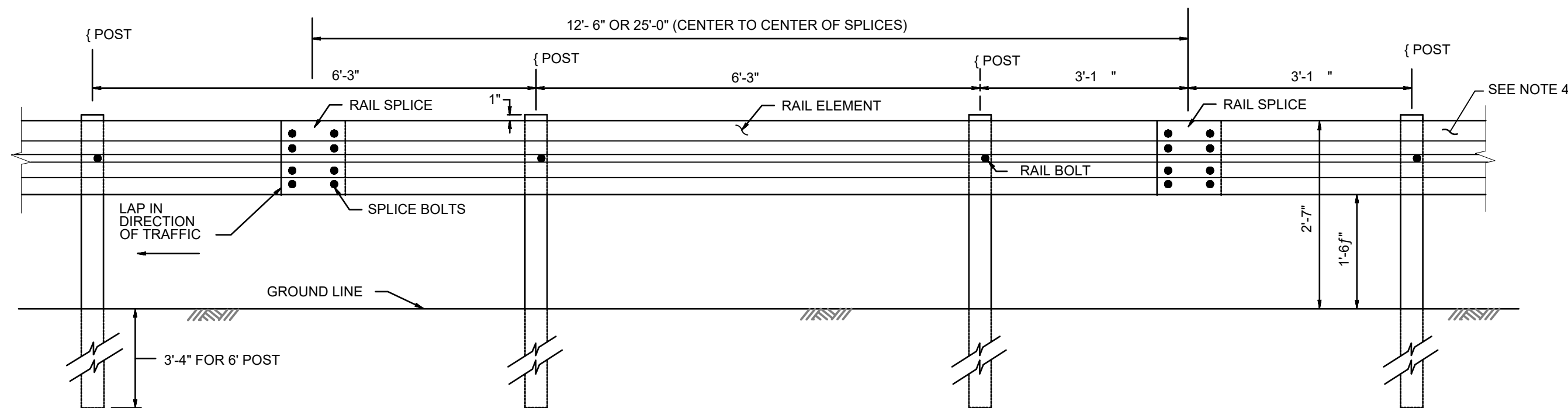
SCALE AS INDICATED

DRAWN: GD	
CHECKED: HS	
FILE No: 21-100	
SHEET:	11
OF:	19

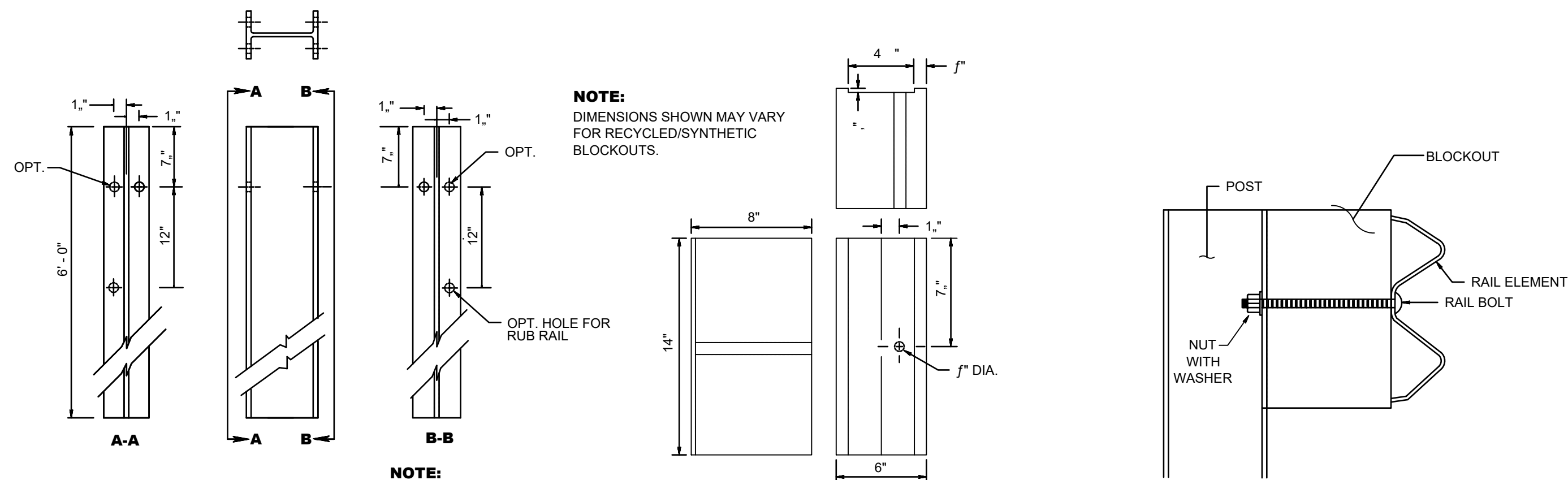
OF: 19

RAIL ELEMENT TO BE SUPPLIED IN LENGTHS OF 13'- 6 " OR 26'-0

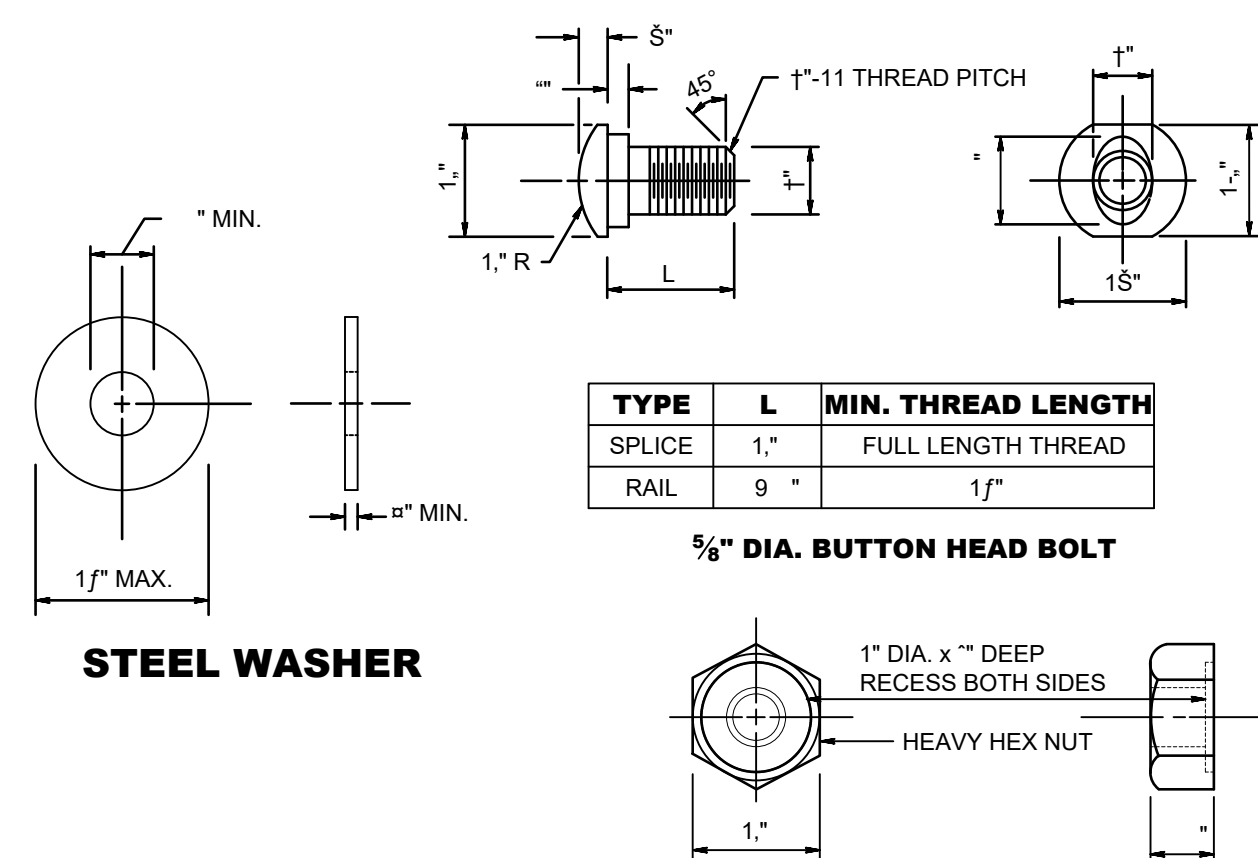
W-BEAM RAIL ELEMENT



BEAM GUIDE RAIL



BEAM GUIDE RAIL POST ASSEMBLY

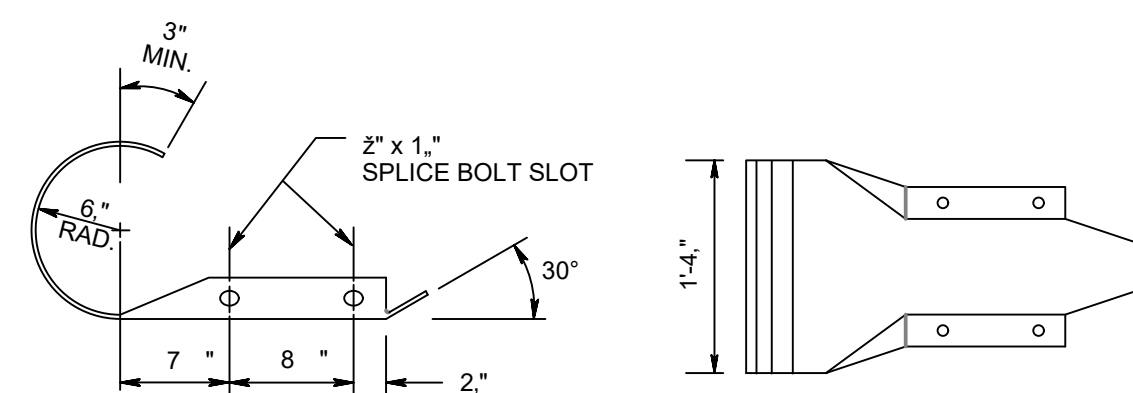


SPLICE & RAIL NUT & BOLT

BEAM GUIDE RAIL (MASH TL-3)

N.T.S.

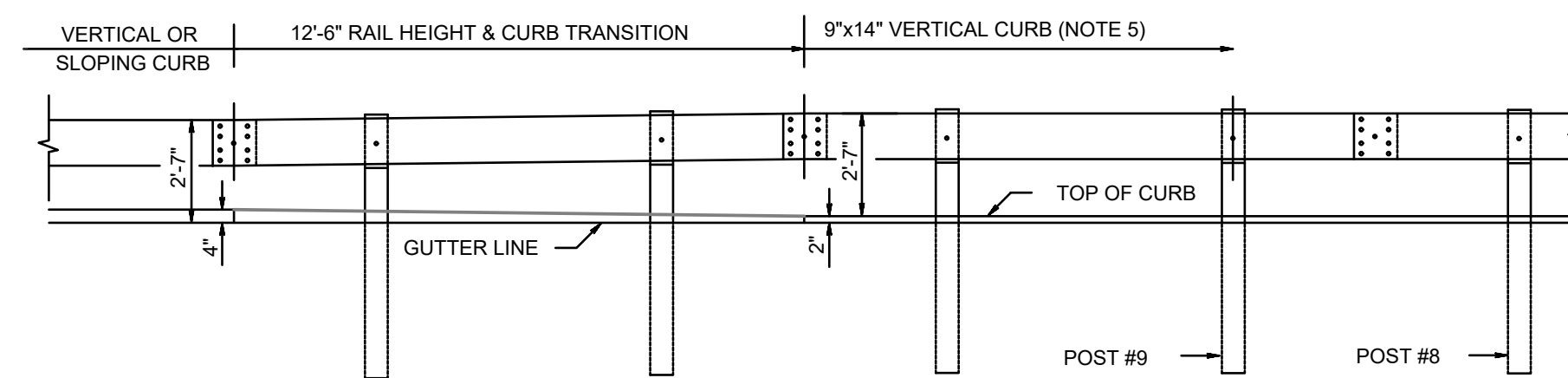
CD-609-1



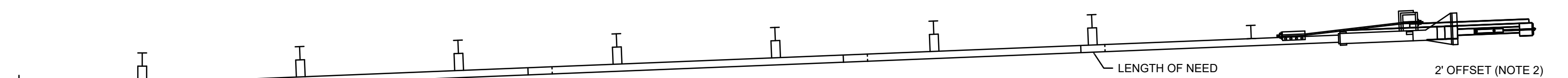
END SECTION (ROUNDED)

NOTES:

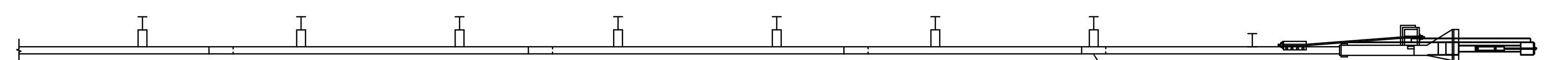
1. ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
2. FURNISH RAIL ELEMENTS SHOPCURVED, CONCAVE OR CONVEX, FOR RADII BETWEEN 20 AND 150 FEET.
3. WHERE TRANSITIONING TO EXISTING GUIDE RAIL, AN END TERMINAL, OR A CRASH CUSHION MOUNTED AT A HEIGHT OTHER THAN 2'-7", THE VERTICAL TRANSITION TO BE ACCOMPLISHED IN A MINIMUM LENGTH OF 12'-4" FOR EACH 2" OF VERTICAL CHANGE. SEE CD-609-5.
4. INSTALL AN END TERMINAL AS SHOWN ON THE PLANS. USE THE END SECTION (ROUNDED) ON THE END OF THE RAIL ELEMENT WHERE DUAL FACED BEAM GUIDE RAIL ENDS AND SINGLE FACED BEAM GUIDE RAIL BEGINS.



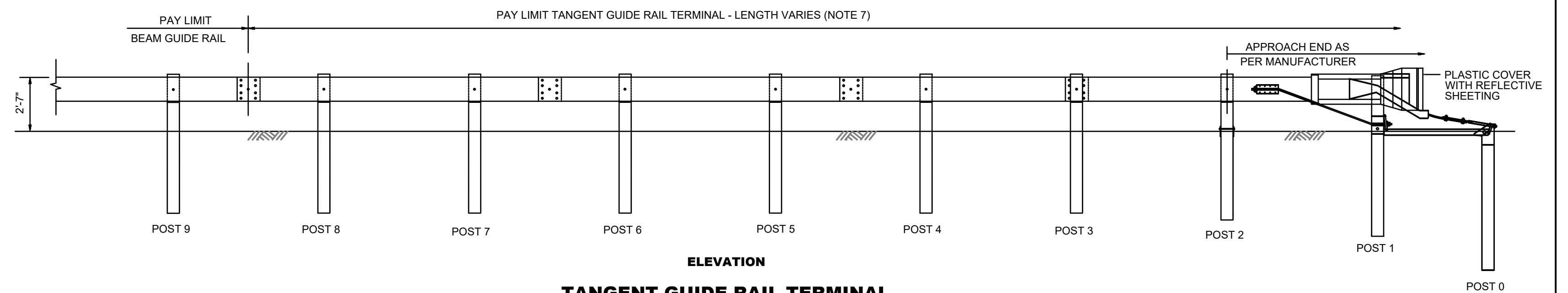
**RAIL HEIGHT TRANSITION FOR TANGENT GUIDE RAIL TERMINAL WITH 2" VERTICAL CURB
WHERE GUIDE RAIL IS OFFSET LESS THAN 4 FEET FROM THE GUTTER LINE (NOTE 6)**



PLAN - 2' OFFSET



PLAN - 0' OFFSET



TANGENT GUIDE RAIL TERMINAL

CD-609-5.1

TANGENT GUIDE RAIL TERMINAL (MASH TL-3)

N.T.S.

CD-609-5

NOTES:

1. NUMBER OF POSTS, TYPE OF POST, POST SPACING, FLARE RATE, AND MATERIALS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE DEPARTMENT'S QUALIFIED PRODUCTS LIST.
2. THE LOCATION OF THE 2 FOOT OFFSET VARIES WITH EACH MANUFACTURER. WHERE A 2 FOOT OFFSET IS SHOWN ON THE PLANS, CONSTRUCT THE TANGENT GUIDE RAIL TERMINAL WITH A STRAIGHT FLARE FOR ITS ENTIRE LENGTH AS PER THE MANUFACTURER.
3. WHERE GUIDE RAIL IS INSTALLED FLUSH WITH THE GUTTER LINE OR OFFSET 6 INCHES FROM THE GUTTER LINE, CONSTRUCT THE TANGENT GUIDE RAIL TERMINAL WITH A TWO FOOT OFFSET SO THAT THE TERMINAL END DOES NOT PROTRUDE INTO THE ROADWAY.
4. WHERE THE DOWNSTREAM GUIDE RAIL IS ON A HORIZONTAL CURVE, CONSTRUCT THE TANGENT GUIDE RAIL TERMINAL IN A STRAIGHT LINE AS SHOWN ON THIS DETAIL (DO NOT FOLLOW THE HORIZONTAL CURVE).
5. 9"x14" CONCRETE VERTICAL CURB WHERE SHOWN ON PLANS. SEE CD-607-2 FOR ADDITIONAL CURB TRANSITION DETAILS.
6. WHERE GUIDE RAIL IS OFFSET 4 FEET OR MORE FROM THE GUTTER LINE, RAIL HEIGHT OF THE GUIDE RAIL AND TANGENT GUIDE RAIL TERMINAL IS MEASURED FROM THE GROUND LINE (CD-609-8A). A RAIL HEIGHT TRANSITION IS NOT REQUIRED.
7. LENGTH OF TANGENT GUIDE RAIL TERMINAL AS PER MANUFACTURER. SEE QUALIFIED PRODUCTS LIST.
8. LOCATION OF POST #1 AS SHOWN ON THE PLANS.

[illegible]

 **Simoff Engineering Associates**

2 Shunpike Road Madison New Jersey 07940

Phone: (973) 966-9000 Fax: (973) 905-2130 WWW.SIMOFF.COM

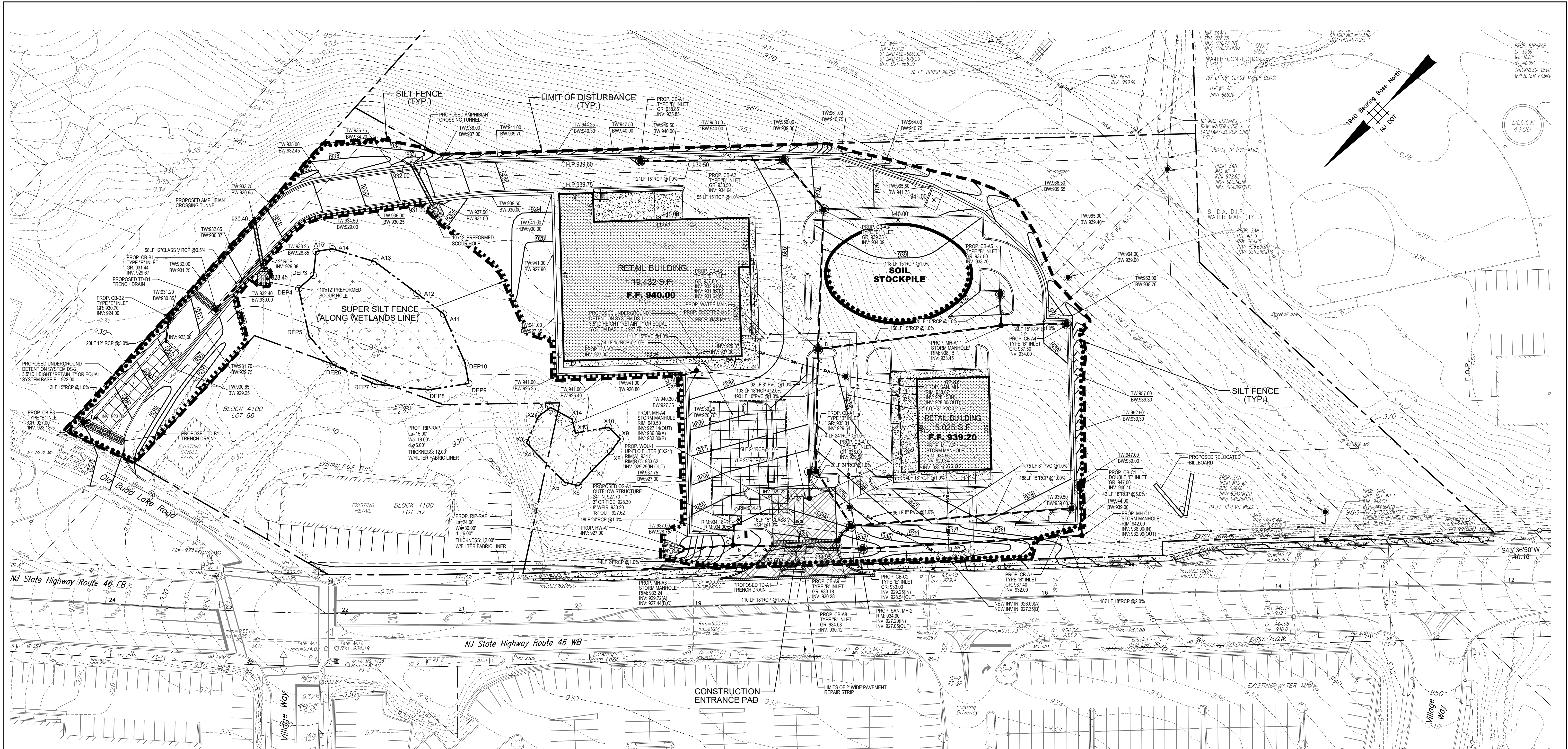
HAL SIMOFF P.E., P.P.

07/18/23

PROF. ENGINEER	N.J. LIC. 28278,	N.Y. LIC. 61069	DATE
PROFESSIONAL PLANNER	N.J. LIC. 2864		
CERTIFIED PROFESSIONAL PROJECT MANAGER			
TELEPHONE # : 246GA862300			

FOR CONSTRUCTION WITHIN NJDOT R.O.W.

CONSTRUCTION DETAILS FOR BLOCK 4100, LOT 80.01 MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY	DRAWN: GD CHECKED: HS FILE No: 21-100
	SHEET: 13
SCALE AS INDICATED	OF: 19



TOTAL AREA TO BE DISTURBED
168,187 SQ. FT. / 3.86 ACRES

SITE DEVELOPMENT NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEAN-UP AND SECURITY OF ALL FACILITIES DURING CONSTRUCTION. UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS THE OWNER SHALL ASSUME RESPONSIBILITY.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY IN THE FIELD FOR INFORMATION AND REVIEW AND RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL PROPOSED GRADES INDICATE FINAL PAVEMENT AND GROUND ELEVATIONS.
- EXISTING GRADES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPES.
- FILL SHALL CONSIST OF MATERIAL FROM ON-SITE SOURCES OR APPROVED OFF-SITE SOURCES.
- RELOCATION OF EXISTING UTILITY POLES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITY LINES AND STRUCTURES TO BE ABANDONED SHALL BE COMPLETELY REMOVED FROM WITHIN 10 FEET FROM ANY STRUCTURE AND CAPPED AT THE MAIN IN ACCORDANCE WITH UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR SO AS TO BE FLUSH WITH PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL UTILITIES SERVING THE SITE SHALL BE RUN UNDERGROUND.
- EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS TO REQUEST UTILITIES MARK OUT BY THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- EXISTING ELECTRIC, TELEPHONE, AND CABLE TELEVISION UTILITIES ARE AVAILABLE AND SHALL BE USED FOR THE PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NO ON-SITE BURIAL IS PERMITTED.
- THE 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3,500 PSI.
- ALL AREAS NOT COVERED WITH IMPERVIOUS COVER SHALL BE FINISH GRADED WITH A MINIMUM OF 3" OF CLEAN TOPSOIL, RAKED TO REMOVE ANY STONES OR ROCKS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION TECHNIQUES, METHODS, AND MATERIALS SHALL BE IN ACCORDANCE WITH NJDOT STANDARDS.
- INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
- ALL REGULATORY SIGNS MUST BE MADE OF 3M DIAMOND GRADE OR EQUAL MATERIAL.
- SIGN POLES MUST BE GALVANIZED STEEL, 1 1/4" x 3 1/4" SQUARED CHANNELS.
- A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK AT THE SITE.

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE NO: 16-066. DATED JUNE 7, 2022.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC. BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014. (PENDING UPDATE)

REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	

SEA
Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
07/18/23
PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

SOIL EROSION & SEDIMENT CONTROL PLAN
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

SCALE: 1" = 40'



DRAWN: GD
CHECKED: HS
FILE NO: 21-100

SHEET: 14

OF: 19

LEGEND

- PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING CONTOURS
- EXISTING UTILITY POLE
- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING TREE
- EXISTING TREE LINE
- WETLANDS DELINEATION
- PROPOSED CURB
- PROPOSED HANDICAP RAMP
- PROPOSED SIGN
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORM SEWER

* NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING

1. ALL SOIL EROSION AND SEDIMENT CONTROL, PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT SHALL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND BE SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
5. TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS WHERE INDICATED ON THE SITE PLANS.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT SEEDING AND STABILIZATION COVER FOR SOIL STABILIZATION COVER" SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
9. STOCKPILES MUST NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STONE TRACKING FILTER DETAIL.
11. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL Dewatering Operations MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT BASIN OR FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL.
15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
20. CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
21. TOPSOIL STOCKPILE PROTECTION

*NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION
THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY (TYP)

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRADED SOILS	FINE GRADED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
>5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE**	

1. STONE SIZE-USE 2"STONE, OR RECLAIMED CONCRETE EQUIVALENT.
2. LENGTH-AS REQUIRED, BUT NOT LESS THAN 50 FT (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS-NOT LESS THAN 6".
4. WIDTH-10" MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH-MUST BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH NOT REQUIRED ON SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES MUST BE PERMITTED.
7. PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SHALL BE DISPOSED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING-WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA OF THE LOT WITH SLOPE AWAY FROM THE PUBLIC RIGHT-OF-WAY TRAPPING SEDIMENT.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

MORRIS COUNTY SOIL CONSERVATION DISTRICT
NOTES FOR ROAD WORK

1. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. THE PLAN SHALL BE FORWARDED TO THE ENGINEER AND MORRIS COUNTY SOIL CONSERVATION DISTRICT FOR REVIEW. THE PLAN SHALL BE REVIEWED AND APPROVED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
2. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE PROTECTED BY A SLIT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MORRIS COUNTY SOIL CONSERVATION DISTRICT OF ANY STAGING AND/OR STOCKPILING LOCATION AREAS AND FOR OBTAINING A SOIL EROSION AND SEDIMENT CONTROL CERTIFICATION FOR THESE AREAS.
4. A CRUSHED STONE, VEHICLE WHEEL CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND STOCKPILE AREAS TO PREVENT OFF-SITE TRACING OF SEDIMENT BY CONSTRUCTION VEHICLES UNTO PUBLIC ROADS. BLANKET SHALL BE 15'x50'x6" (MINIMUM). CRUSHED STONE 2-1/2 INCHES IN DIAMETER. BLANKET SHALL BE REPLACED WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

1. NOTIFY THE SOIL CONSERVATION DISTRICT WITH WRITTEN NOTIFICATION 72 HOURS PRIOR TO ANY LAND DISTURBANCE AND CONDUCT PRE-CONSTRUCTION MEETING
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN ON PLAN. CONSTRUCT SEDIMENT FILTER FENCE AT LOCATION SHOWN ON PLAN. (2 WEEKS)
3. PRIOR TO ANY CONSTRUCTION, AREAS TO REMAIN UNDISTURBED SHALL BE PROTECTED WITH TEMPORARY FENCING TO BE APPROVED IN THE FIELD BY THE BOROUGH ENGINEER. (AS REQUIRED)
4. GENERAL PHASING AND AREAS INCLUDE THE FOLLOWING:

PHASE ONE - CONSTRUCT BASINS 10, 16 & 18. CLEAR AREAS AND BEGIN ROUGH GRADE ROADS A. TO STA 10+00, & PORTION OF B TO STA 11+00

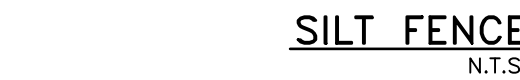
PHASE TWO - CONSTRUCT BASINS 9 & 6. CLEAR AREAS AND BEGIN ROUGH GRADE ROAD A TO END.

PHASE THREE - CONSTRUCT BASIN 5. CLEAR AREAS AND BEGIN ROUGH GRADE ROAD E
STA 11+00 TO THE END.

5. CONSTRUCT AND STABILIZE DETENTION BASINS AND SEDIMENT BASINS. ADDITIONALLY, INSTALL AND CONSTRUCT TEMPORARY RISERS, OUTLET STRUCTURES AND DRAINAGE SYSTEMS FROM THE OUTLET STRUCTURES TO THE DOWNSTREAM DISCHARGE. (3 MONTHS)
 6. CLEAR SITE, STOCKPILE TOPSOIL AND ROUGH GRADE ROADWAY AND BUILDING AREAS. (6 MONTHS)
 7. STABILIZE ALL CRITICAL AREAS SUBJECT TO EROSION. (2 WEEKS)
 8. CONSTRUCT SANITARY SEWER AND STORM DRAINAGE SYSTEMS. INSTALL SEDIMENT FILTERS ON INLETS AND INSTALL CONDUIT OUTLET PROTECTION. (3 MONTHS)
 9. CONSTRUCT OTHER UTILITIES, CURBS, BASE COURSE PAVEMENT AND BEGIN BUILDING CONSTRUCTION. (4 MONTHS)
 10. FINE GRADE, PLACE TOPSOIL, SEED AND MULCH IN ACCORDANCE WITH PERMANENT SEEDING AND MULCHING STANDARDS. (8 WEEKS)
 11. AFTER LANDSCAPE STABILIZATION, REMOVE ALL SEDIMENT FILTER FENCE AND INLET SEDIMENT FILTERS. (2 WEEKS)
 12. FINAL PAVE ALL PAVEMENT AREAS. (1 MONTH)
- . TOTAL DURATION OF PROJECT WILL BE APPROXIMATELY 3.0 YEARS.

NOTES:

1. FENCE POSTS SHALL BE SPACED 8 FEET ON-CENTER OR CLOSER; THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GRAVE AND EXTEND AT LEAST 6 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH MINIMUM DIAMETER OF TWO INCHES.
2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, PROVIDED IT IS SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF RINGS, BOLTS, WASHERS, ETC., PLACED BETWEEN THE FASTER AND THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES BELOW THE SURFACE OF THE GRAVE. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF RINGS, BOLTS, WASHERS, ETC., PLACED BETWEEN THE FASTER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL NOT BE USED AS AN ALTERNATE TO THE POSTS OR BUILT UPON THEM.



1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS OF BALE SUBSTITUTING FOR THE TOE OF A SLOPE.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE OR RE-BAR SHALL BE DRIVEN THROUGH THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN INTO THE SOIL WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE TEMPORARY SEDIMENT BASIN AT FOLLOWING INTERVALS:
 - IMMEDIATELY FOLLOWING INITIAL INSTALLATION
 - EVERY 7 DAYS WHILE THE SITE IS UNDER ACTIVE CONSTRUCTION
 - IMMEDIATELY FOLLOWING ANY STORM EVENT.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT LEVEL REACHES THE 50% RAKE DEFLECTION ELEVATION. THE ELEVATION SHALL BE IDENTIFIED BY MARKER WHICH SHALL BE VISIBLE FROM THE BASIN EDGE.
3. SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL COVER. COVERED AREAS OF THE SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.
4. ALL TEMPORARY CONNECTIONS TO THE OUTLET STRUCTURE MUST BE WATER TIGHT.

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST (ALL PAGE REFERENCES REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, LATEST EDITION):

MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (PAGE 5-1)

VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PAGE 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PAGE 4-1), AND PERMANENT STABILIZATION WITH SOD (PAGE 6-1)

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS).
KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPRAY	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS.		
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

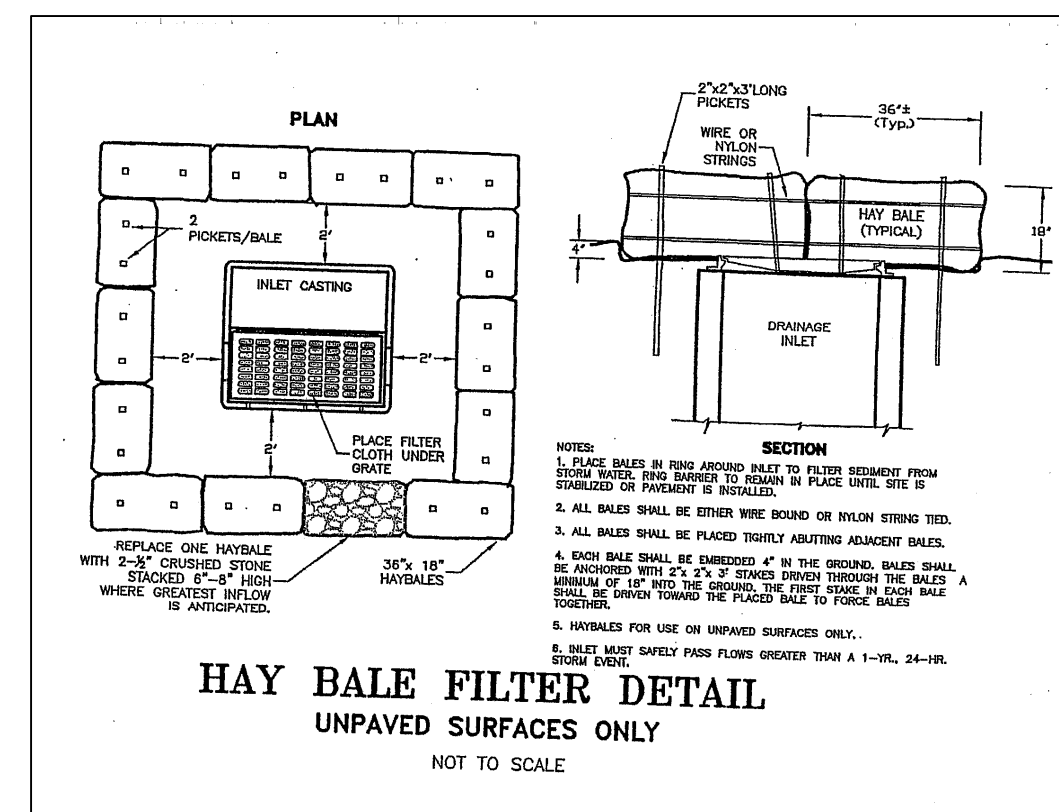
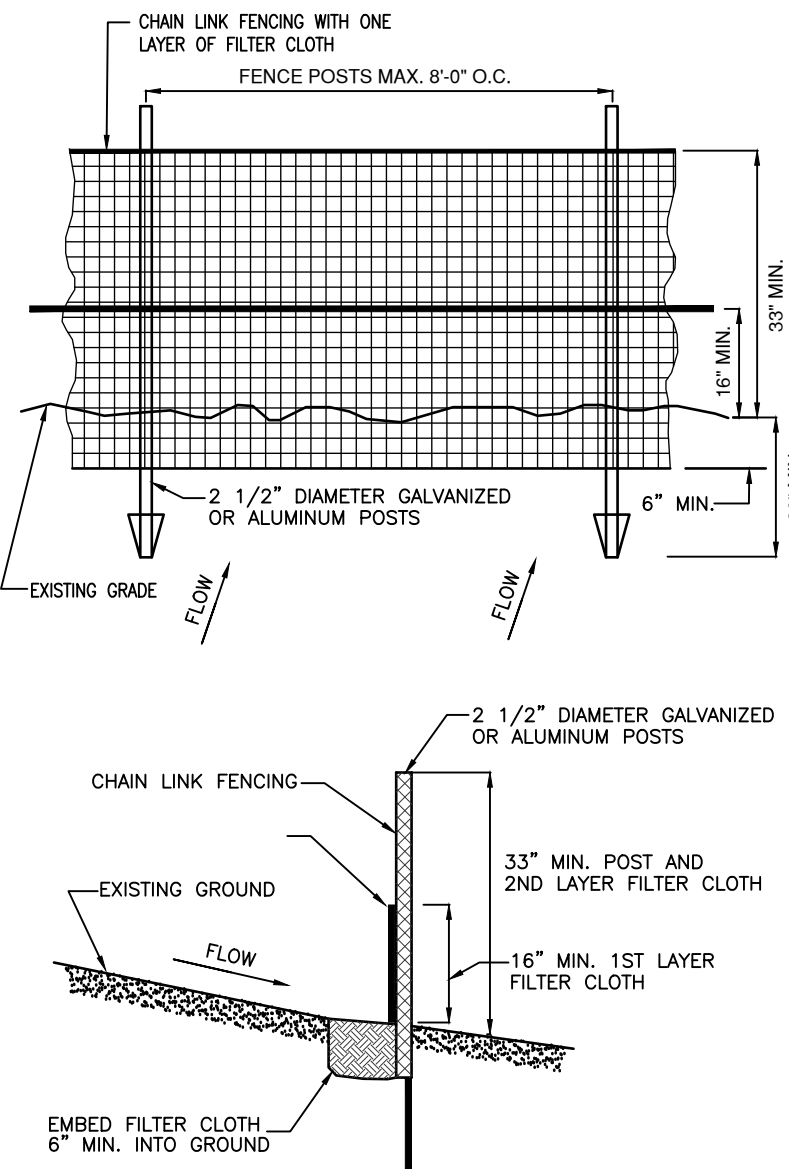
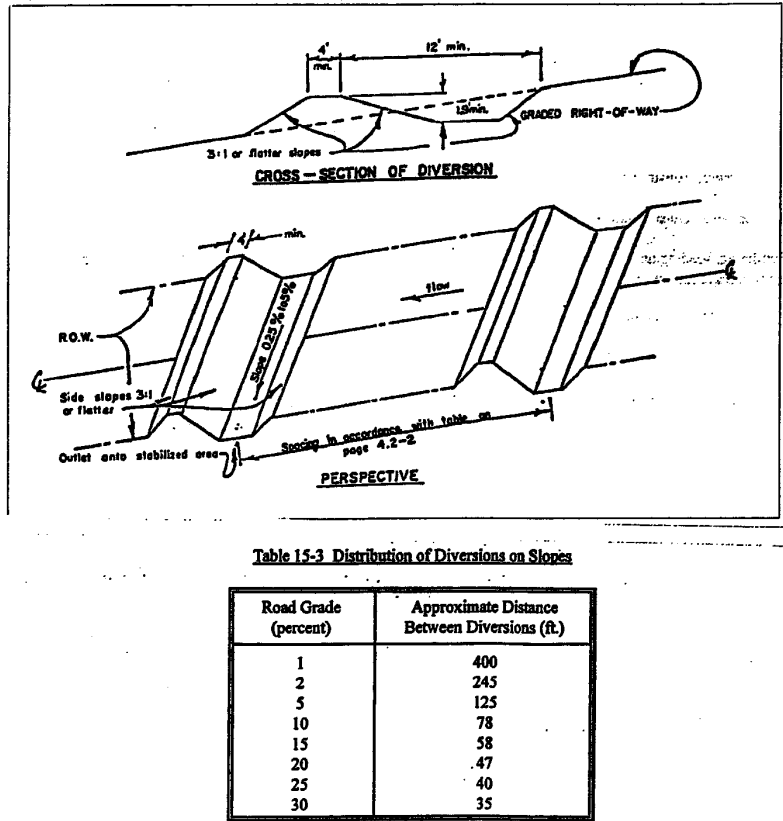


Figure 15-4 Detail of small diversions for roadbed right-of-way



1. Mechanical damage—Install snow fence a minimum of 10' from trunk or preferably along the drip line of tree.
2. Box trees within 25' of a building site to prevent mechanical injury. Fencing or other barrier should be installed at the drip line of the tree branches. See detail above.
3. Boards will not be nailed to trees during building operations.
4. Feeder roots should not be cut in an area inside the drip line of the tree branches.
5. Damaged trunks or exposed roots will be painted immediately with a good grade tree paint.¹ Care for serious injuries should be prescribed by a professional forester or licensed tree expert.
6. Tree limb removal, where necessary, will be done flush to trunk or main branch and that area painted with a good grade of tree paint.

SOIL EROSION & SEDIMENT CONTROL DETAILS

BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

SCALE: 1" = 40'

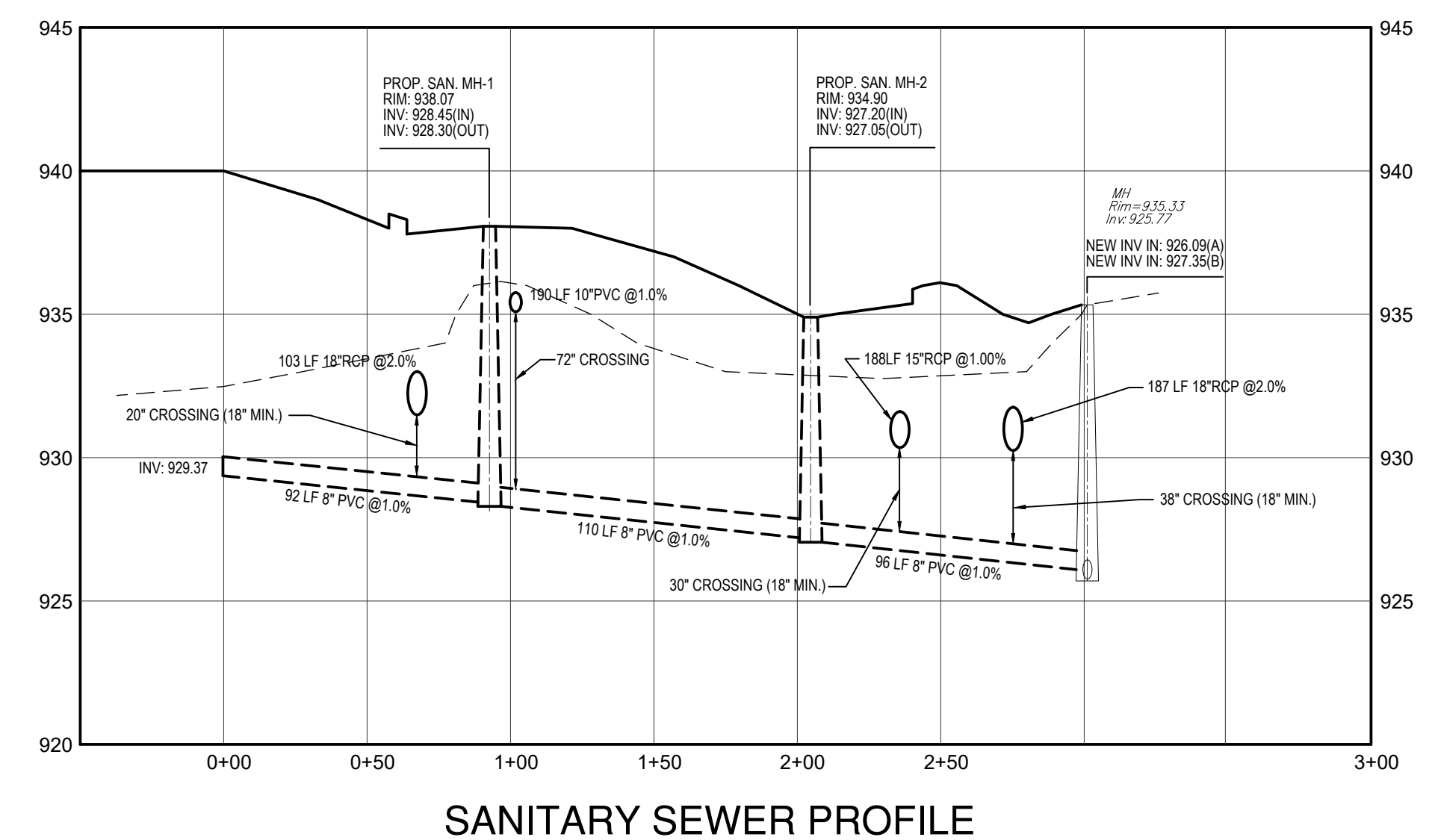
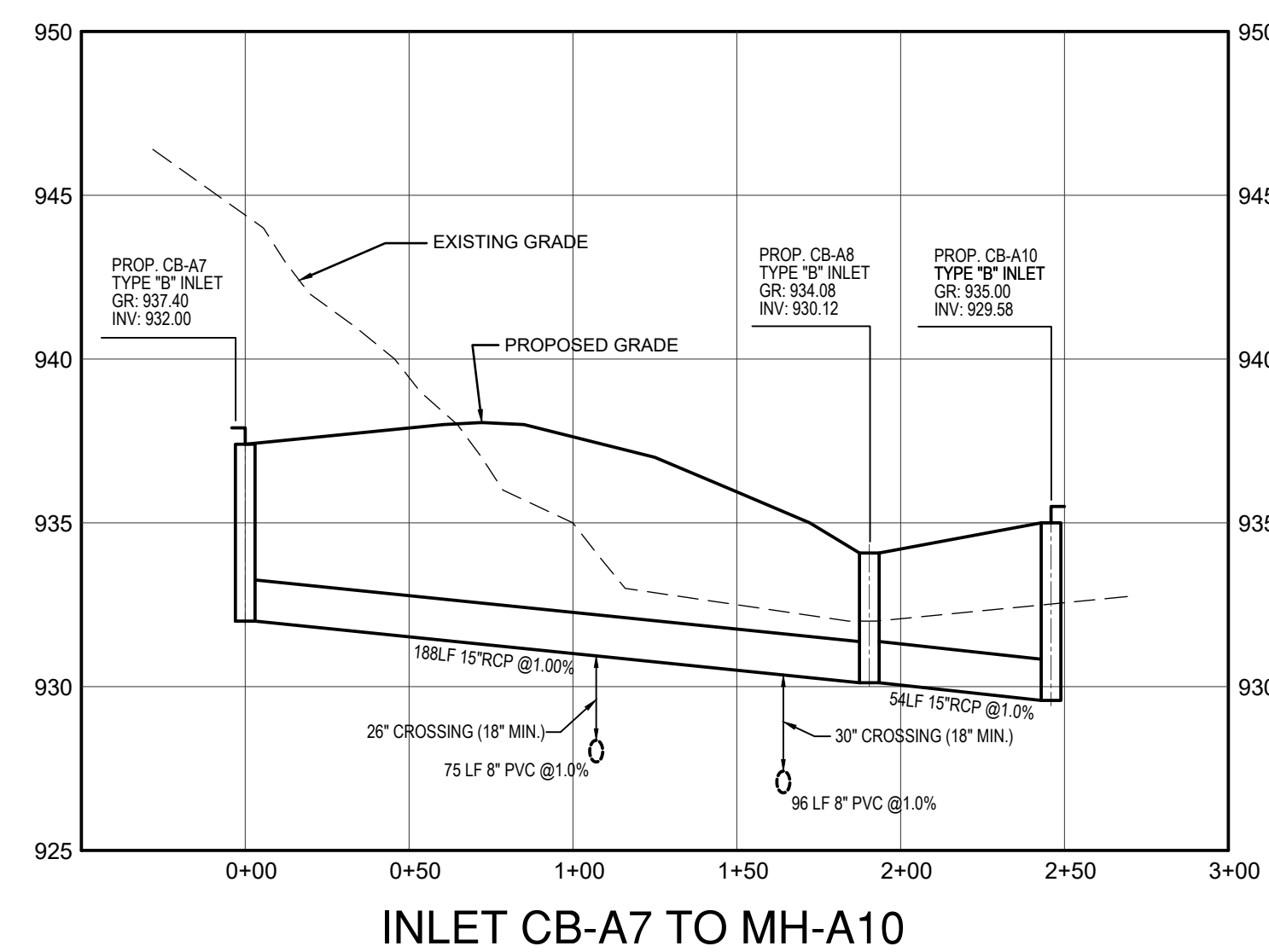
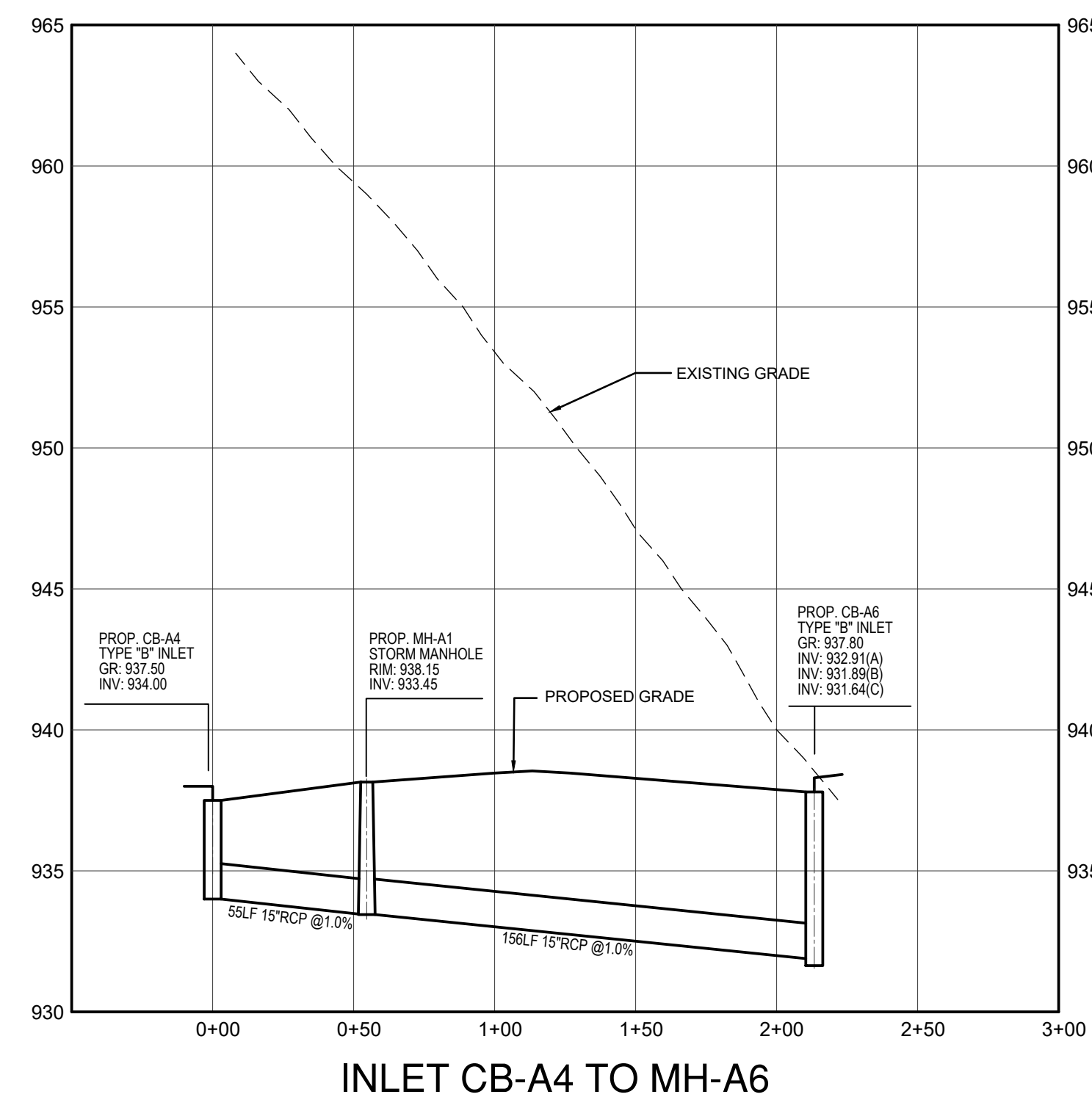
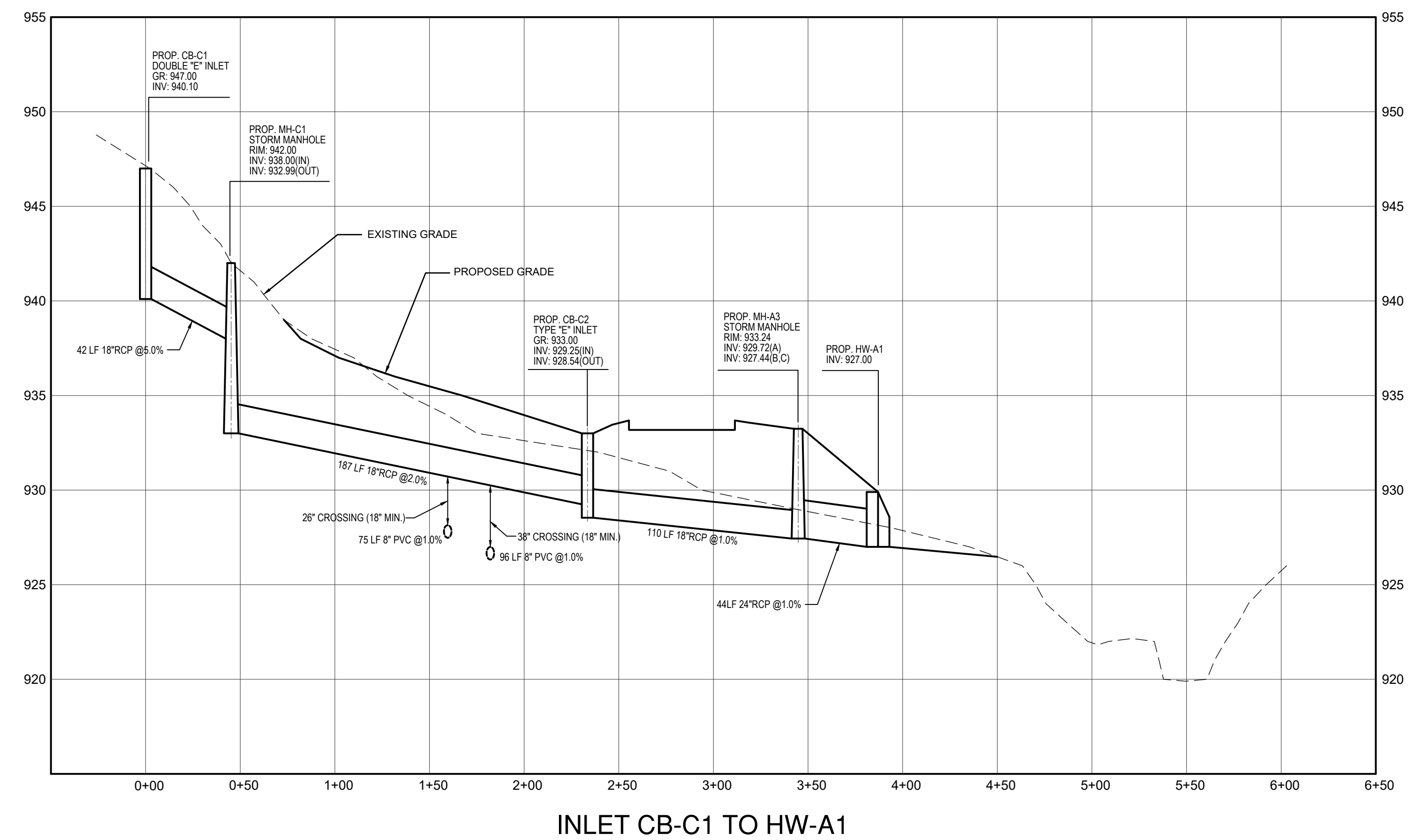
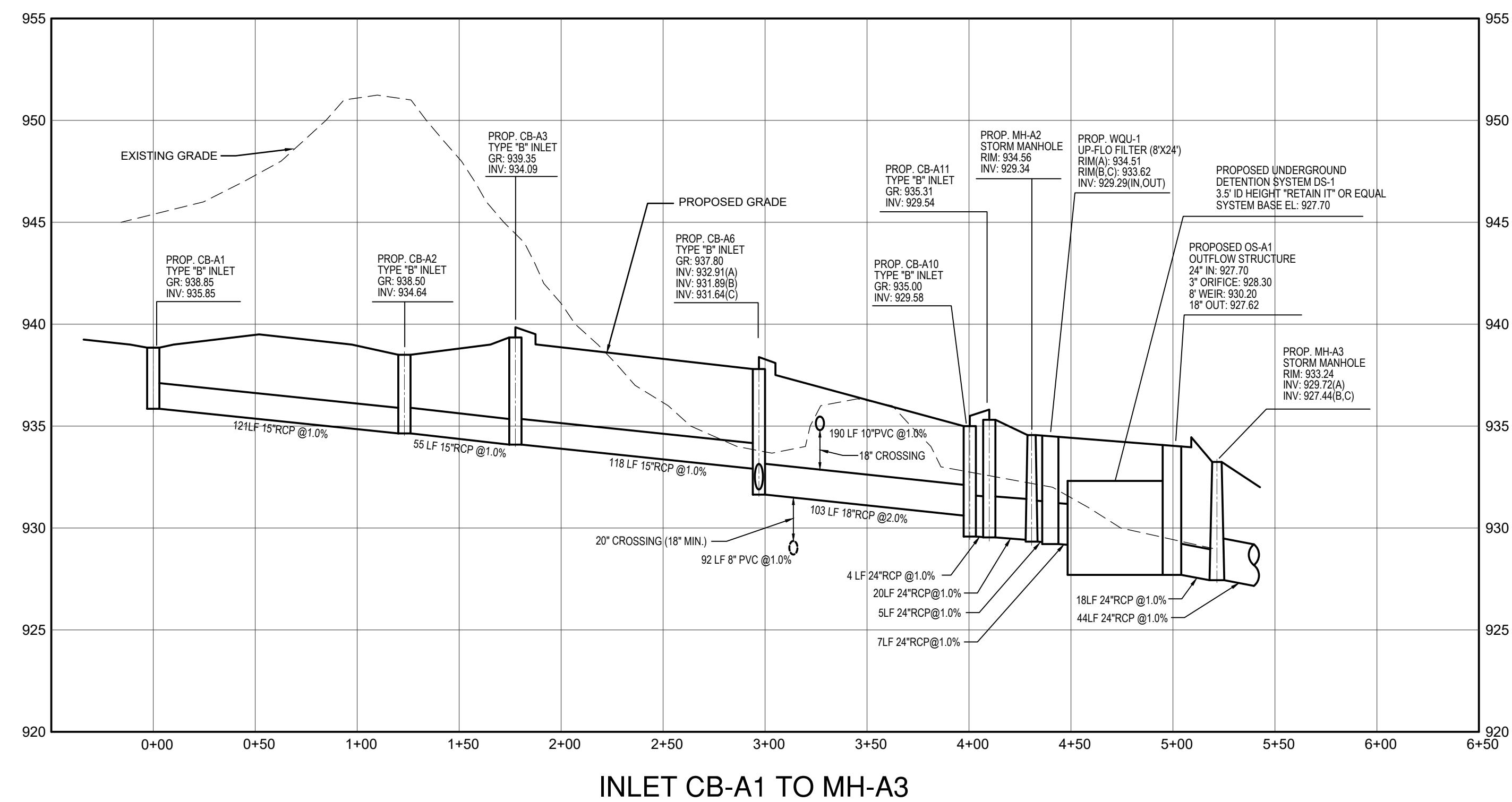


DRAWN: GD
CHECKED: HS
FILE No: 21-100

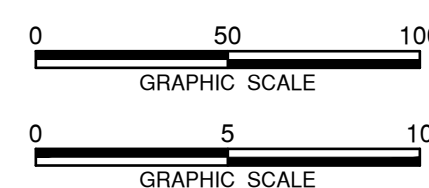
SHEET: 15

OF:

OF: 19



HORIZONTAL SCALE: 1" = 50'



VERTICAL SCALE: 1" = 5'

[illegible]

SEA

Simoff Engineering Associates
 2 Shunpike Road Madison New Jersey 07940
 Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.


 PROF. ENGINEER / N.J. LIC. 98278, N.Y. LIC. 61069 07/18/23
 PROFESSIONAL PLANNER / N.J. LIC. 2864 DATE
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 246A28062300

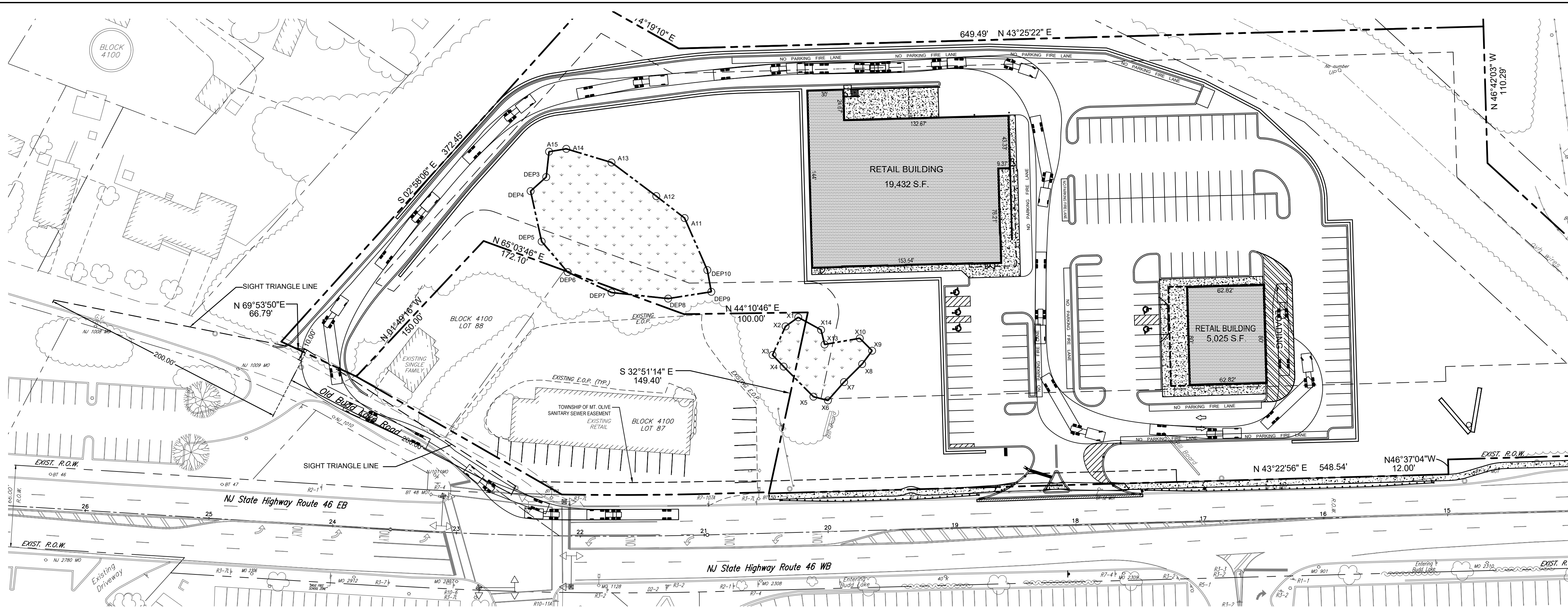
PROFILES
FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

SCALE AS INDICATED

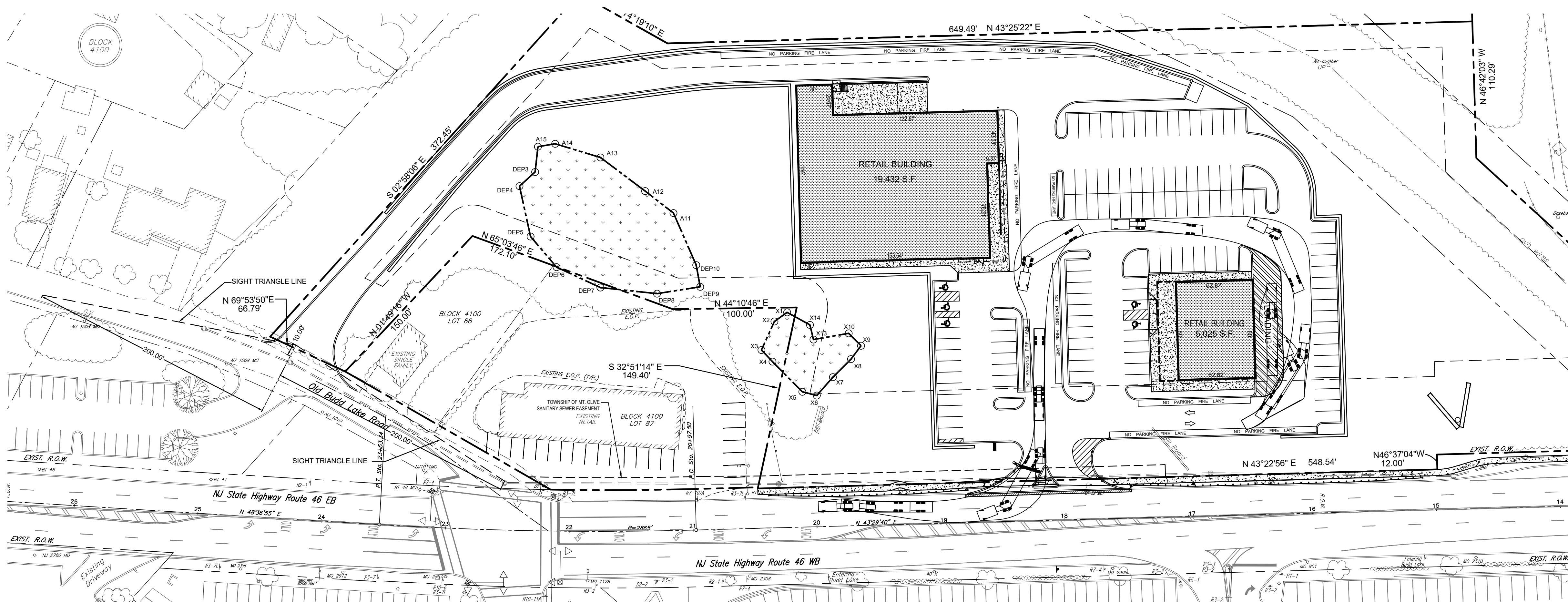
DRAWN: GD
CHECKED: HS
FILE No: 21-100

SHEET: 16

OF: 19



INGRESS FROM RT 46 EB



EGRESS TO RT 46 EB

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
1. MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC, FILE NO. 16-066, DATED JUNE 7, 2022.
 2. A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC., BASED ON PHOTOGRAPHY DATED 2/17/89.
 3. NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014, (PENDING UPDATE)

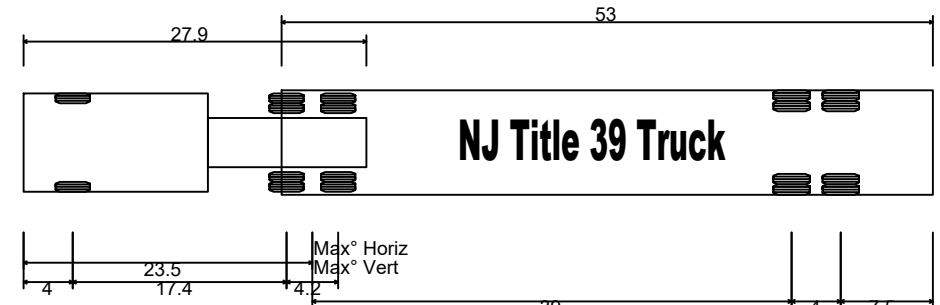
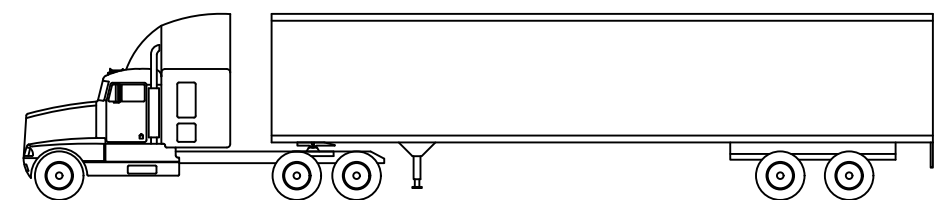
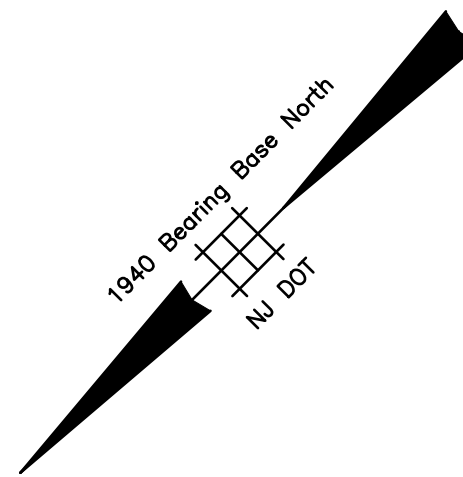
REVISED FOR COMPLETENESS	01/05/24
REVISION & DATE	

SEA
Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM
HAL SIMOFF P.E., P.P.
07/18/23
PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

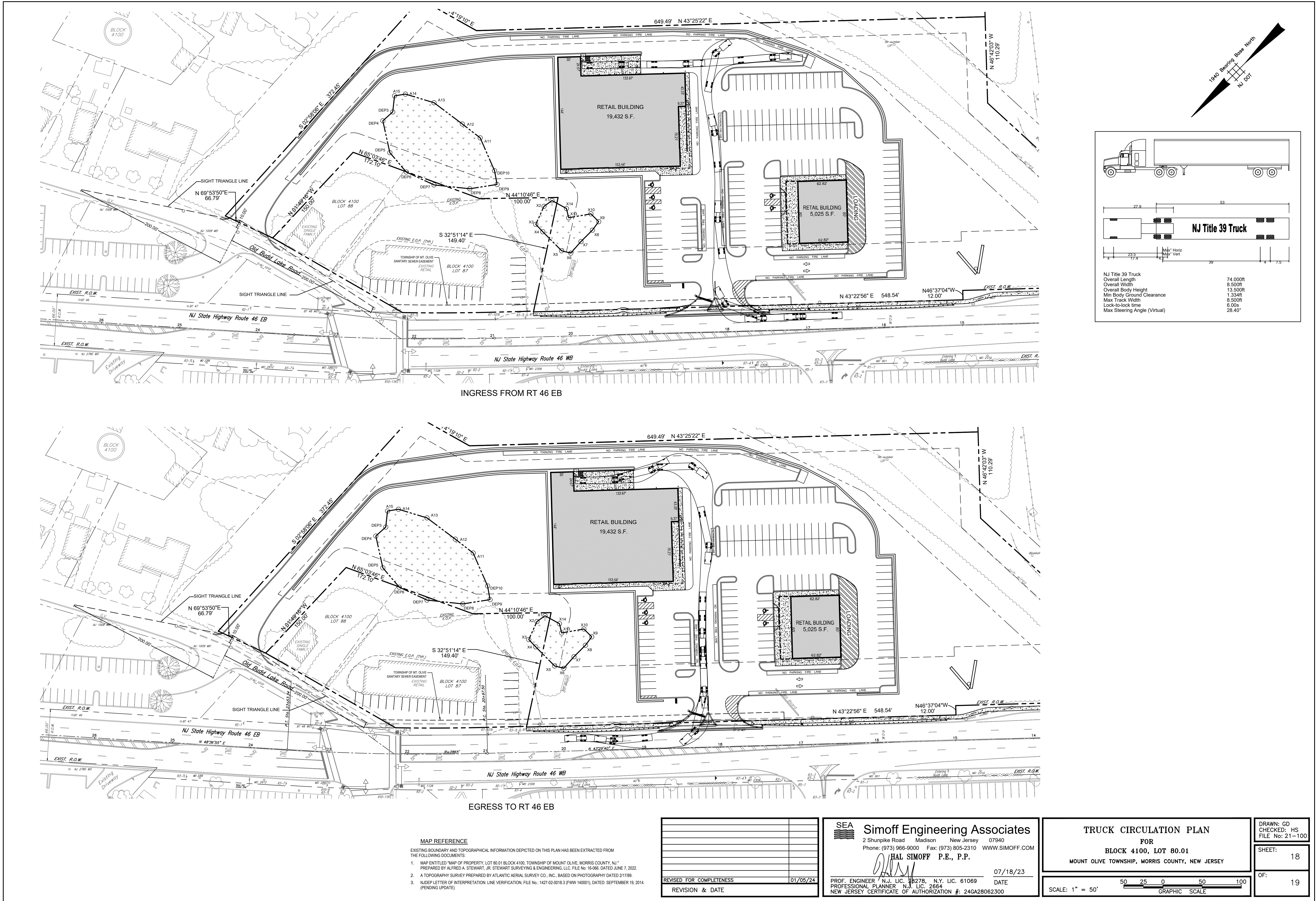
TRUCK CIRCULATION PLAN FOR BLOCK 4100, LOT 80.01 MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY		DRAWN: GD CHECKED: HS FILE No: 21-100
		SHEET: 17
		OF: 19

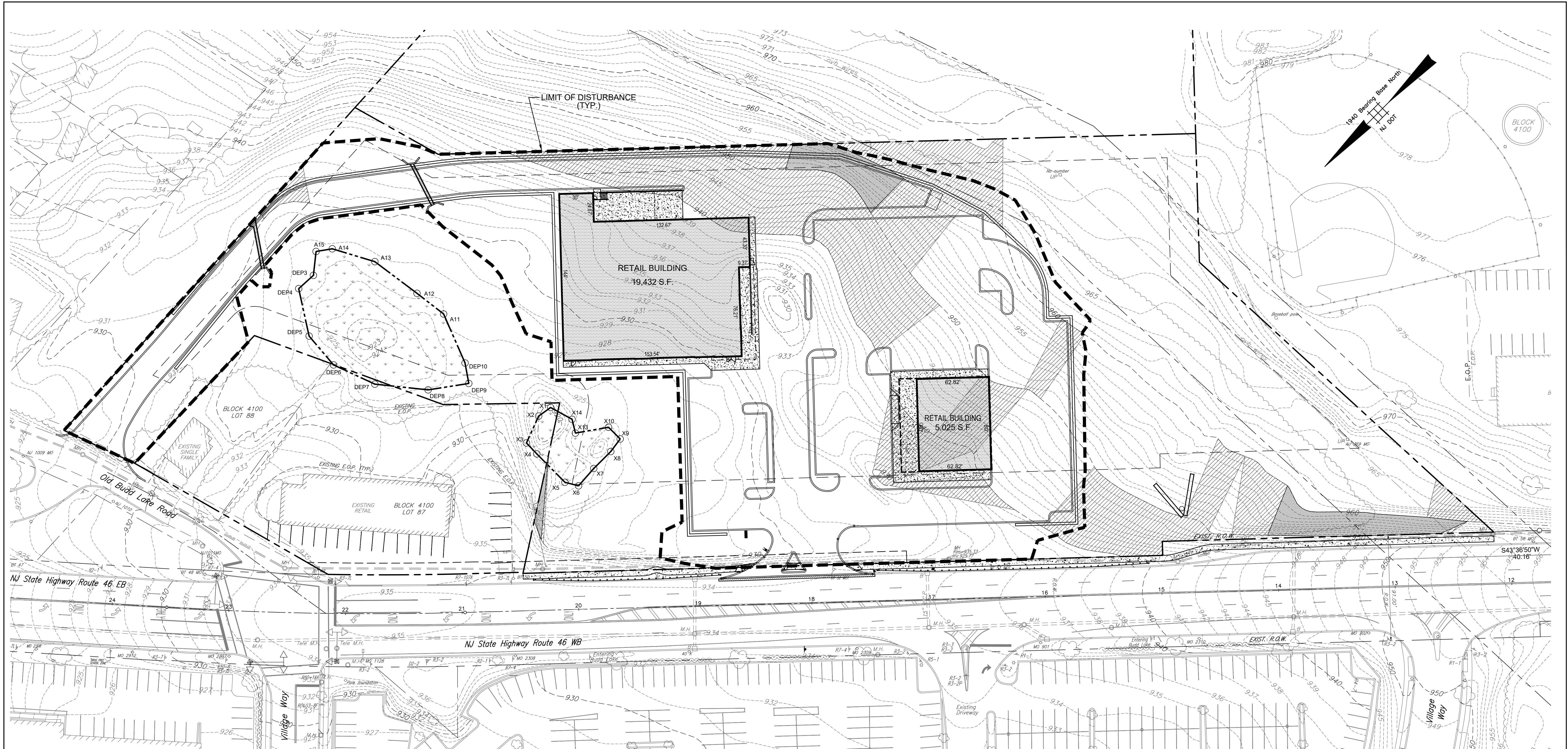
SCALE: 1" = 50'

50 25 0 50 100
GRAPHIC SCALE



NJ Title 39 Truck
Overall Length 74.000ft
Overall Width 8.500ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.334ft
Max Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.40°





SITE DEVELOPMENT NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE, CLEAN-UP AND SECURITY OF ALL FACILITIES DURING CONSTRUCTION. UPON ACCEPTANCE OF ALL SITE IMPROVEMENTS THE OWNER SHALL ASSUME RESPONSIBILITY.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY IN THE FIELD FOR INFORMATION AND REVIEW AND RESOLUTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES AND ORDINANCES.
- ALL PROPOSED GRADES INDICATE FINAL PAVEMENT AND GROUND ELEVATIONS.
- EXISTING GRADES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPES.
- FILL SHALL CONSIST OF MATERIAL FROM ON-SITE SOURCES OR APPROVED OFF-SITE SOURCES.
- RELOCATION OF EXISTING UTILITY POLES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITY LINES AND STRUCTURES TO BE ABANDONED SHALL BE COMPLETELY REMOVED FROM WITHIN 10 FEET FROM ANY STRUCTURE AND CAPPED AT THE MAIN IN ACCORDANCE WITH UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR SO AS TO BE FLUSH WITH PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.

- ALL UTILITIES SERVING THE SITE SHALL BE RUN UNDERGROUND.
- EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATIONS.
- CONTRACTOR IS TO REQUEST UTILITIES MARK OUT BY THE APPROPRIATE AGENCY PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- EXISTING ELECTRIC, TELEPHONE, AND CABLE TELEVISION UTILITIES ARE AVAILABLE AND SHALL BE USED FOR THE PROJECT.
- ALL DEMOLITION MATERIAL AND DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. NO ON-SITE BURIAL IS PERMITTED.
- THE 28 DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3,500 PSI.
- ALL AREAS NOT COVERED WITH IMPERVIOUS COVER SHALL BE FINISH GRADED WITH A MINIMUM OF 3" OF CLEAN TOPSOIL, RAKED TO REMOVE ANY STONES OR ROCKS.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION TECHNIQUES, METHODS, AND MATERIALS SHALL BE IN ACCORDANCE WITH NJDOT STANDARDS.
- INSTALLATION OF ALL UTILITIES SHALL BE UNDERGROUND.
- ALL REGULATORY SIGNS MUST BE MADE OF 3M DIAMOND GRADE OR EQUAL MATERIAL.
- SIGN POLES MUST BE GALVANIZED STEEL, 1 1/4" x 3 1/4" SQUARED CHANNELS.
- A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK AT THE SITE.

MAP REFERENCE

- EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION DEPICTED ON THIS PLAN HAS BEEN EXTRACTED FROM THE FOLLOWING DOCUMENTS:
- MAP ENTITLED "MAP OF PROPERTY, LOT 80.01 BLOCK 4100, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ," PREPARED BY ALFRED A. STEWART, JR. STEWART SURVEYING & ENGINEERING, LLC. FILE NO. 16-066, DATED JUNE 7, 2022.
 - A TOPOGRAPHY SURVEY PREPARED BY ATLANTIC AERIAL SURVEY CO., INC., BASED ON PHOTOGRAPHY DATED 2/17/89.
 - NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO.: 1427-02-00183 (FWW 140001), DATED: SEPTEMBER 19, 2014. (PENDING UPDATE)



Simoff Engineering Associates
2 Shunpike Road Madison New Jersey 07940
Phone: (973) 966-9000 Fax: (973) 805-2310 WWW.SIMOFF.COM

HAL SIMOFF P.E., P.P.

PROF. ENGINEER N.J. LIC. 28278, N.Y. LIC. 61069 DATE 01/05/24
PROFESSIONAL PLANNER N.J. LIC. 2664
NEW JERSEY CERTIFICATE OF AUTHORIZATION #: 24GA28062300

SLOPE DISTURBANCE ANALYSIS

FOR
BLOCK 4100, LOT 80.01
MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

SCALE: 1" = 40'



LEGEND

- PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING CONTOURS
- EXISTING UTILITY POLE
- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING TREE
- EXISTING TREE LINE
- WETLANDS DELINEATION
- PROPOSED CURB
- PROPOSED HANDICAP RAMP
- PROPOSED SIGN
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORM SEWER

DRAWN: GD
CHECKED: HS
FILE NO: 21-100

SHEET: 19

OF: 19